

ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

THE FOLLOWING CRITERIA APPLY TO A HOUSE (DETACHED), MULTIPLE RESIDENTIAL, DISPLAY HOME PROPOSALS.

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
- The provisions of the Development Scheme will apply where development does not comply with all provisions of the Plan of Development.
- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

- All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
- Nominated building location envelopes may be constrained by future easements and/or services.
- Buildings shall be constructed in accordance with the approved Bushfire Report.
- Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.

Setbacks

- Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
- The permitted location of built to boundary walls are indicated on the Plan of Development.
- Where built to boundary walls are not adopted, side setbacks shall be in accordance with the requirements of the Non-Built to Boundary Setbacks nominated in Plan Of Development Table.
- Setback, for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
- The dwelling and associated projections (gutters etc.) must be located wholly within the subject lot, unless encroachment rights are secured by way of easement (or other suitable mechanism).
- Other than built to boundary walls, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like (not including retractable blinds, fixed screens, rainwater fittings, or ornamental attachments) is permitted to extend 600mm within the prescribed setback, however cannot encroach closer than 450mm from the boundary.
- The length of the built to boundary walls shall be no more than:
 - 75% of the boundary length for a house on a lot width of 7.5m - 9.5m
 - 50% of the boundary length for a house on a lot width of greater than 9.5m, or 15m, which ever is greater.
- Walls over 8m in length facing either the primary or secondary street without windows or articulation are not permitted.
- A lot can have only one primary frontage. Primary frontages are nominated as per driveway frontages, unless specified otherwise on the Plan of Development - Envelope Plans;
- The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade
 - Balconies, porches or verandahs
 - Shadow lines created on the building through minor changes in the façade (100mm minimum).
- Entrance porticoes may be located closer to the property boundary than stated in POD Table, provided that the portico:
 - is located no less than 1.4m from the front property boundary,
 - Does not exceed maximum height of 4.5m,
 - Does not exceed a depth of 2.5m; and
 - The portico remains open and not enclosed.

Corner Lot Setback

- A corner lot is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, pedestrian link /connection / threshold, landscape buffer &/or open space.
- Corner lots are interpreted as having a Primary and Secondary frontage and two side boundaries for the purposes of determining building setbacks (ie. No rear boundary setback applies).
- For corner lots (excluding a corner intersecting with a laneway), no building or structure over 2m high is built within a 6m x 6m truncation at the corner of two road frontages (refer Plan of Development Table).

Building Height

- The maximum building height is 9.0m.
- Buildings must have no more than 2 storeys.
- Maximum height of any structure to the built to boundary wall is 3.5m from finish ground level.

Site Cover

- Site cover means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is--
 - in a landscaped or open space area, including, for example, a gazebo or shade structure; or
 - a basement that is completely below ground level and used for car parking; or
 - the eaves of a building; or
 - a sun shade.

Private Open Space and Amenity

- Each house / dwelling unit has a clearly defined outdoor living space which:
 - Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - Is accessible from a living area; and
 - Has a ground slope of not more than 1 in 10;

Parking and Driveways

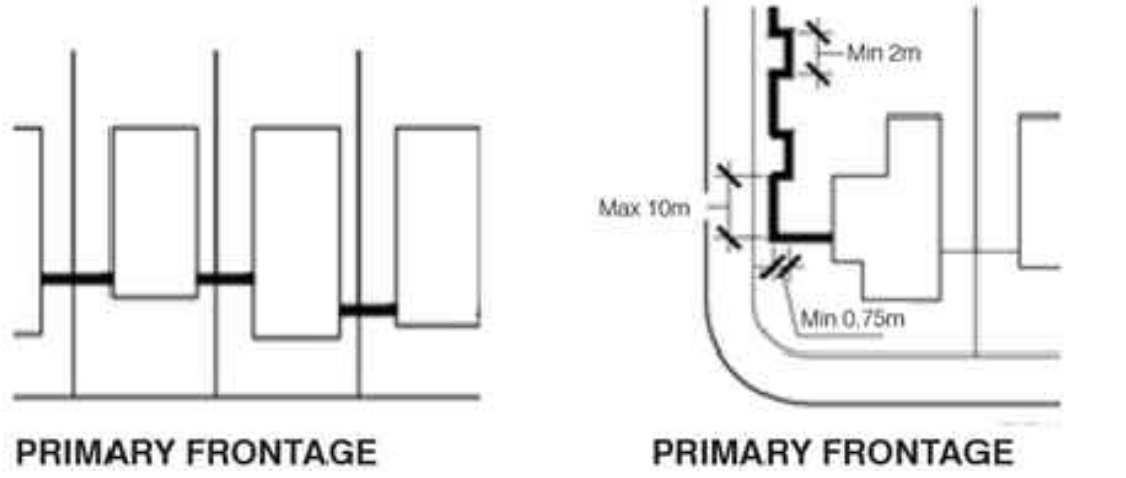
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- Garages:
 - Where single storey on lots less than 10m, single or tandem garages must be used. Where double storey on a lot less than 10m, double garages can be used provided the garage is setback a min 1.0m from the first floor balcony / façade and the main entrance address the street.
 - For a dwelling on a lot with a primary frontage less than 10.0m the garage door width must not exceed 3.0m for single storey.
 - A single storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Has a minimum 450mm eave above it; and
 - Garages are to be setback 0.5m behind the main face of the dwelling.
 - Setback a minimum of 240mm behind the pillar of the garage door; and
 - Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front façade of the dwelling is to be forward of the alignment of the garage wall, and include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. ; or
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door. The verandah, portico or porch is to include front piers with distinct materials and/or colours of sufficient mass to compliment the overall facade design.
 - A double storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
 - Setback a minimum of 240mm behind the pillar of the garage door; and

- Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front entrance door is to be visible and identifiable from the street.
- A dwelling on a lot with a primary frontage of 12.5m or greater must adhere to the following criteria:
 - Must have a garage door not exceeding 40% of the lot frontage
 - Double garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
- The maximum width of a driveway at the lot boundary shall be:
 - 4.8m for a dwelling with a double garage with a lot frontage of 12.5m or greater;
 - 3.5m for a dwelling with a double garage with a lot frontage equal to or greater than 10m and less than 12.5m; or
 - 3.0m for a dwelling with single or tandem garage on any lot frontage.
 - Garages are to be located as nominated on the Plan of Development - Envelope Plans, or in an alternate location subject to confirmation that there is no conflict with proposed/existing services.
 - A maximum of one driveway per dwelling is permitted.
 - The driveway finish must not be plain concrete.
 - Driveways are to be:
 - a minimum distance of 6m from an intersection of one street with another street; and
 - designed and constructed in accordance with approval / permit requirements of Logan City Council.

Retaining Walls

- Other than walls erected by the developer, retaining walls:
 - must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - cannot exceed 1.5m in height without stepping elements incorporated.
 - cannot be constructed out of timber or timber elements
 - if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
- Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per Plan of Development Table.
- All retaining walls over 1.0m in height must be certified by an RPEQ.

Fencing



- Primary frontage requirements:
 - The maximum fence height is 1.8m;
 - Fences are not permitted along road frontages forward of the building; and
 - Side boundary fences are to be recessed at least 1m behind the wall addressing the primary road frontage (as per diagram).
- For rear loaded terrace lots the primary frontage requirement are as follows
 - A maximum fence height of 1.5m;
 - Fences are permitted along the Primary Frontage and the side boundaries forward of the facade facing the Primary Frontage: and
 - Fences must be a least 50% transparent.
 - Fences on the primary frontage must not be constructed using timber
 - Street numbers and letterboxes must be intergrated into the fencing construction

- Within laneways, 1.8m high fences are permitted to screen private open space, car parking and servicing area. Any fencing area above 1.5m in height to be at least 50% transparent.
- Secondary frontage requirements:
 - Fences to Secondary Frontages (Side) of Corner Lots may extend beyond the face of the secondary facade only on the basis the fencing visible from the public area is:
 - A maximum fence height of 1.8m;
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (ie. transparent sections cannot be located solely at ground level); and
 - Does not extend for lengths greater than 10m without a landscaped recess 2m in length and 0.75m deep (as per diagram).
- Pedestrian link requirements:
 - Fences to pedestrian links:
 - A maximum fence height of 1.8m; and
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (i.e. transparent sections cannot be located solely at ground level).

Letterboxes

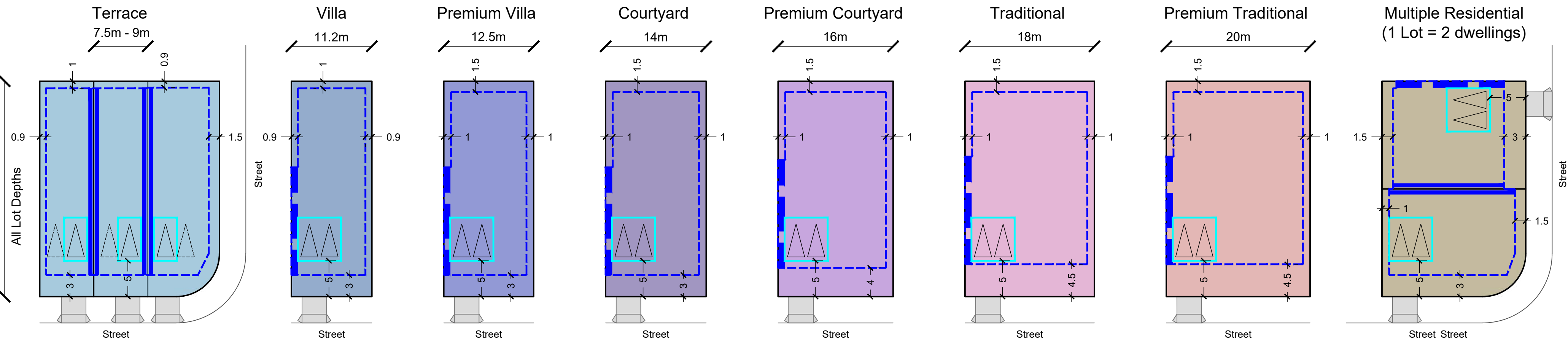
- Letterboxes for the dwelling shall be located on the primary street frontage. Letterboxes are not permitted in laneways.

Structures and Services

- Screened drying areas are to be located behind the main face of the dwellings.
- Rubbish bin areas are to be located behind the main face of the dwellings or stored so as to not be visible from the public realm.

PLAN OF DEVELOPMENT TABLE											
ALLOTMENT TYPE		Terrace	Villa	Premium Villa	Courtyard	Premium Courtyard	Traditional	Premium Traditional	Multiple Residential (2 dwellings)		
		7.5 - 9.5m	11.2m	12.5m	14m	16m	18m	20m			
FRONT SETBACKS											
Primary Frontage	To Wall (Ground Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m		
	To Wall (First Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m		
	To Garage Door	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m		
Secondary Frontage	To Wall (Ground Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m		
	To Wall (First Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m		
	To Garage Door	N/A	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m		
SIDE / REAR SETBACKS											
From any part of the side or rear boundary of a lot where: - on the low side of a retaining wall; and - the total wall height at that part of the side or rear boundary is greater than 2.0m total height.		To Wall (Ground Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m		
		To Wall (First Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	
Note: Where a retaining wall is less than or equal to 2.0m on any part of the side or rear boundary of a lot, standard setback provisions apply for that part of the side or rear boundary of a lot.		Rear Setback	To Wall (Ground Floor)	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m	
			To Wall (First Floor)	1.0m	1.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
		Side Setback – Built to Boundary	To Wall (Ground Floor)	0 - 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m
			To Wall (First Floor)	0 - 0.3m	0.9m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
		Side Setback – Non-Built to Boundary	To Wall (Ground Floor)	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	1.0m
			To Wall (First Floor)	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	2.0m	1.0m
Site Cover (Maximum)		75%	65%	65%	60%	60%	60%	60%	70%		
Note: Additional Setbacks may be required to ensure the building envelope does not encroach past the Bushfire Reach of BAL29											

TYPICAL LOT DIAGRAM



LEGEND

- Optional Built to Boundary Wall location
- Mandatory Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location

ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

THE FOLLOWING CRITERIA APPLY TO A SALES OFFICE, COMMUNITY FACILITY, AND FOOD PREMISES PROPOSALS.

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
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- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

- All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
- Nominated building location envelopes may be constrained by future easements and/or services.
- Buildings shall be constructed in accordance with the approved Bushfire Report.
- Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.

Setbacks

- Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
- Setback, for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.

Building Heights

- The maximum building height is 9.0m.
- Buildings must have no more than 2 storeys.

Parking and Driveways

- The lot has physical access to a sealed or constructed road

Structures and Services

- Connected to a reticulated water supply network and a reticulated electricity network or is capable of providing on site effluent treatment and disposal in accordance with the Queensland Plumbing and Wastewater Code.
- Rubbish bin areas are to be located behind the main face of the are not visible from the public realm.
- Development ensures that air conditioning, refrigeration and other mechanical plant, vents, exhausts and refuse and recycling storage areas are:
 - located so that they are not visually obtrusive when viewed from the street;
 - screened from an adjacent sensitive use.

Retaining Walls

- Other than walls erected by the developer, retaining walls:
 - must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - cannot exceed 1.5m in height without stepping elements incorporated.
 - cannot be constructed out of timber or timber elements
 - if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
- Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per the Plan of Development Table.
- All retaining walls over 1.0m in height must be certified by an RPEQ.

Design

- The length of blank façade without variation in material, substantial articulation or large openings is no more than 15m.
- Development entrances are:
 - highly accessible to pedestrians through the provision of a defined pedestrian access from the existing active transport network;
 - clearly visible from the primary street frontage;
 - not obscured by fencing, walls, advertising or dense landscaping;
 - separate from vehicle entry points.
- The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade
 - Balconies, porches or verandahs
 - Shadow lines created on the building through minor changes in the façade (100mm minimum).

- A window:
 - does not directly face the window of a habitable room of another building within 2 metres at the ground storey or 9 metres above the ground storey; or
 - has:
 - fixed obscure glazing in any part of the window below 1.5 metres above floor level; or
 - fixed external screens which:
 - achieve a minimum 50% transparency;
 - have openings with a maximum dimension of 50mm.
- Development:
 - is orientated to overlook the public realm with windows or balconies located on upper levels, designed to provide passive surveillance opportunities;
 - where bordering public open space, provides an interface with it.
- Landscaping
 - A minimum of 10% of the site is planted with deep planting with a minimum dimension of 4m.
 - A landscape strip with a minimum width of 1.5m is planted along the full extent of a boundary adjoining land intended for a sensitive land use.

Sales Office Specific Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
- GFA:
 - Maximum of 400m²
- A Sales office has a maximum of six (6) employees or contractors on the premises at any one time.
- A Sales office has operating hours that are limited to:
 - 8am to 5pm Monday to Saturday;
 - 10am to 5pm on Sunday.

Community Facility Specific Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
 - Onsite maneuvering for an SRV.
- GFA:
 - Maximum of 400m²
- Hours of operation, including the use of indoor activity areas and private open space, which are limited to 7am to 6pm.
- Development has hours of operation for delivery vehicles which are limited to 7am to 6pm Monday to Saturday, excluding public holidays.

Food Premises Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
 - Onsite maneuvering for an SRV.
- GFA:
 - Maximum of 400m²
- Hours of operation are limited to 6am to 10pm.
- Development has hours of operation for delivery vehicles which are limited to 7am to 6pm Monday to Saturday, excluding public holidays.

PLAN OF DEVELOPMENT TABLE			
ALLOTMENT TYPE			Special Use
FRONT SETBACKS			
Primary Frontage		To Wall (Ground Floor)	4.5m
		To Wall (First Floor)	4.5m
		To Garage Door	5.0m
Secondary Frontage		To Wall (Ground Floor)	1.5m
		To Wall (First Floor)	1.5m
		To Garage Door	5.0m
SIDE / REAR SETBACKS			
For all other side / rear boundaries	Rear Setback	To Wall (Ground Floor)	1.5m
		To Wall (First Floor)	2.0m
	Side Setback – Non-Built to Boundary	To Wall (Ground Floor)	1.2m
		To Wall (First Floor)	2.0m
Site Cover (Maximum)			60%

SPECIAL USE LOT 12601 DIAGRAM



LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Special Use Lot
- Linear Park / Pedestrian Linkage
- Neighbourhood Recreation Park
- Primary Frontage
- Indicative Building Envelope
- Lots impacted by Bushfire Radiant Heat Flux 29kW/m2
- Extent of bushfire Radiant Heat Flux 29kW/m2

LOCALITY DIAGRAM

Scale 1:7,500



DISCLAIMER

THIS PLAN WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. IT IS NOT SUITABLE FOR ANY OTHER PURPOSE. PROPERTY DIMENSIONS, AREAS, LOT NUMBERS, AND OTHER FEATURES ARE BASED ON EXISTING INFORMATION AND MAY NOT HAVE BEEN VERIFIED BY SURVEY. THESE DETAILS MAY CHANGE SUBJECT TO DEVELOPMENT APPROVAL OR FURTHER DESIGN. PAVEMENT AND CENTRELINES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO ENGINEERING DESIGN. THE DESIGNS DOCUMENTED HEREIN REMAIN THE PROPERTY OF SAUNDERS HAVILL GROUP AND MUST NOT BE REPRODUCED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION. SAUNDERS HAVILL GROUP ACCEPTS NO RESPONSIBILITY FOR ANY USE OR RELIANCE BY THIRD PARTIES. REPRODUCTION WITHOUT THIS NOTE IN FULL RENDERS THE INFORMATION INVALID.

SOURCE

PROJECTION: GDA2020 MGA56
SUBJECT BOUNDARIES: PROVIDED BY SAUNDERS HAVILL, DRAWING REFERENCE "11731 LC RevP FS94_08.01.2026" DATED 08/01/2026
BUSHFIRE MANAGEMENT PLAN: PROVIDED BY COVEY, DOCUMENT REFERENCE "243951_RHF_GDA2020_Rev_G.dwg" DATED 15/12/2025
ROAD TRAFFIC NOISE ASSESSMENT: PROVIDED BY ATP CONSULTING ENGINEERS, DOCUMENT REFERENCE "ATP240148-R-RTNA-01-P101&P102" DATED APRIL 2025



CLIENT



SITE ADDRESS

HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION

Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

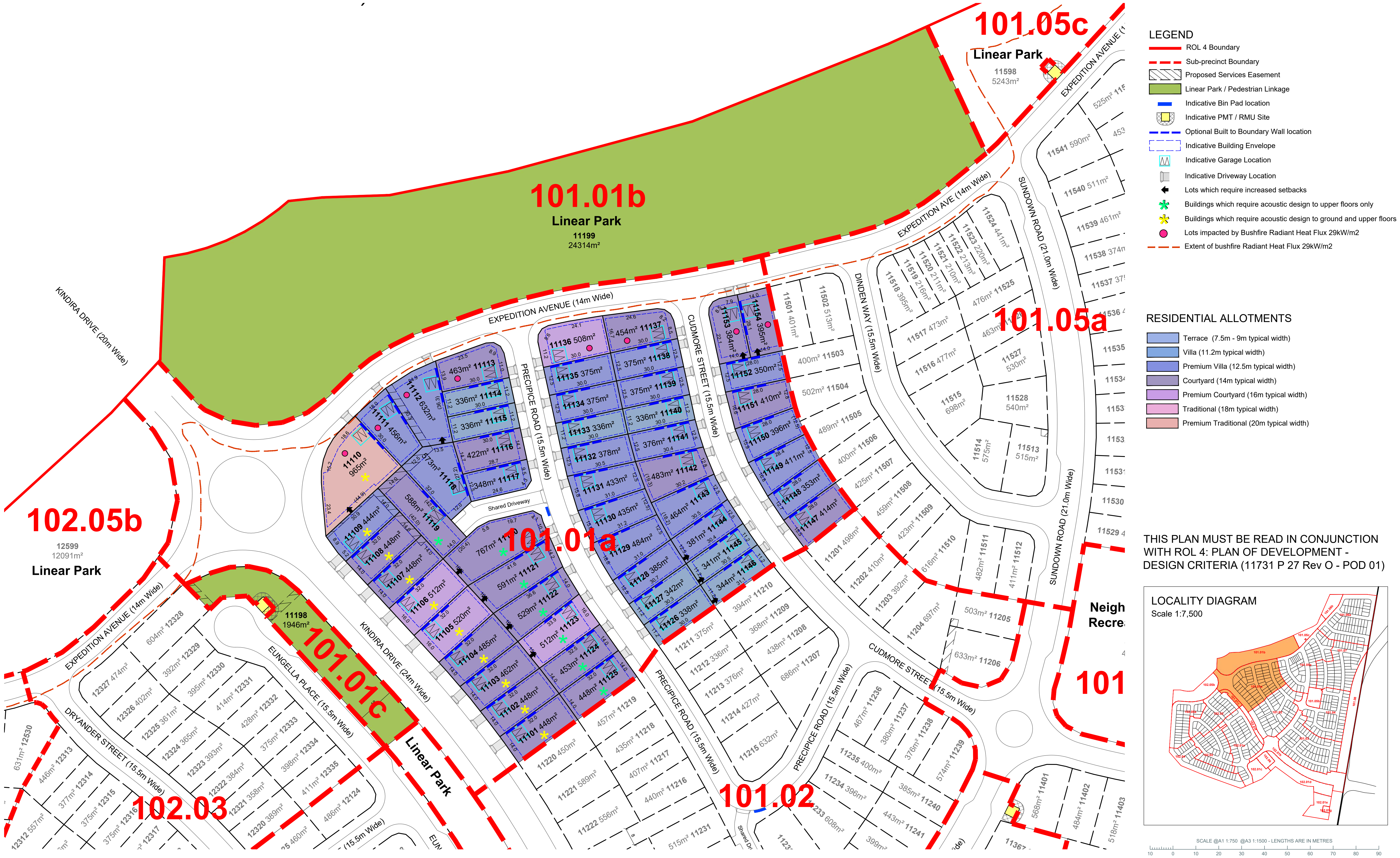
11731 P 27 Rev O - POD 02

DATE

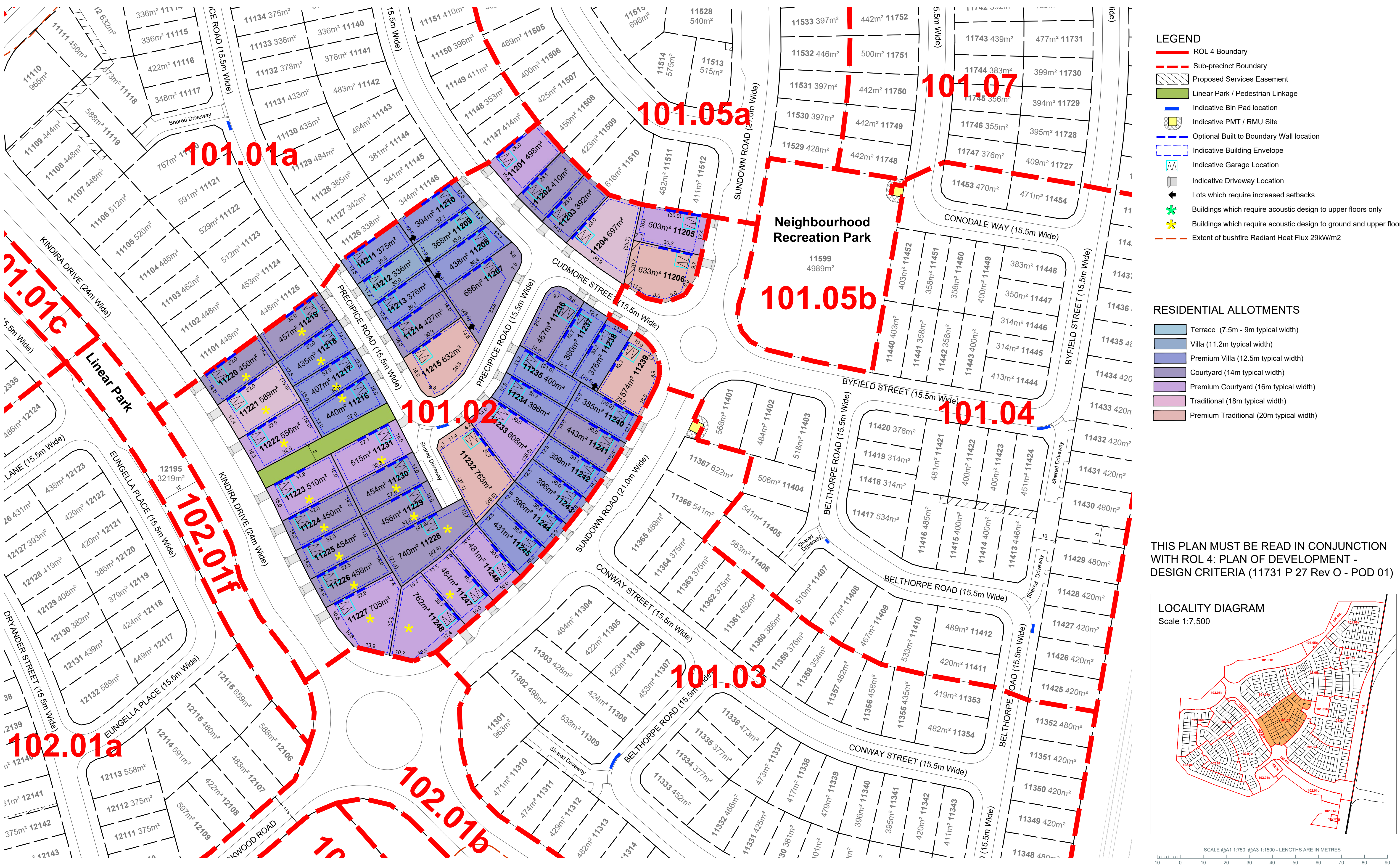
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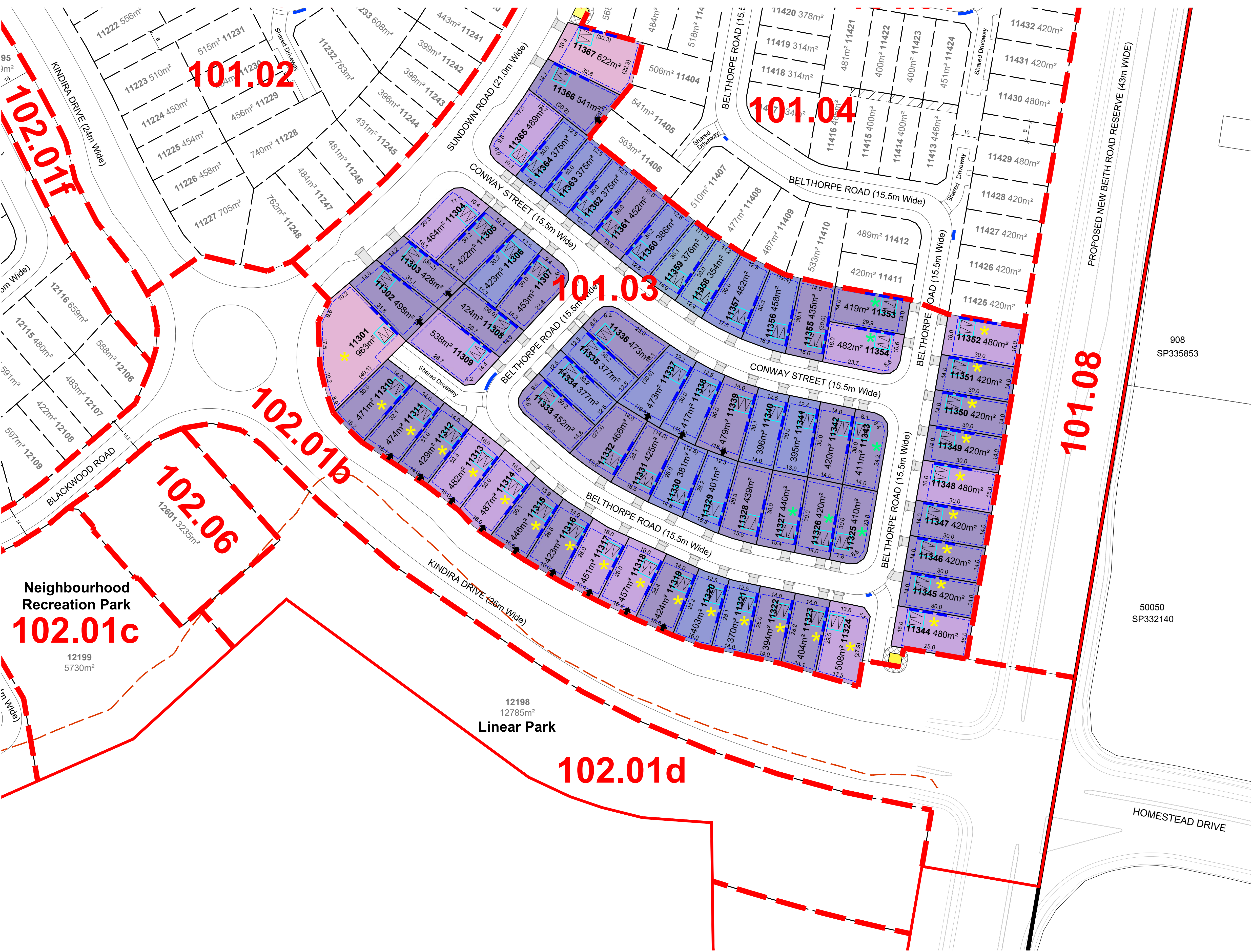
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.01



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.02



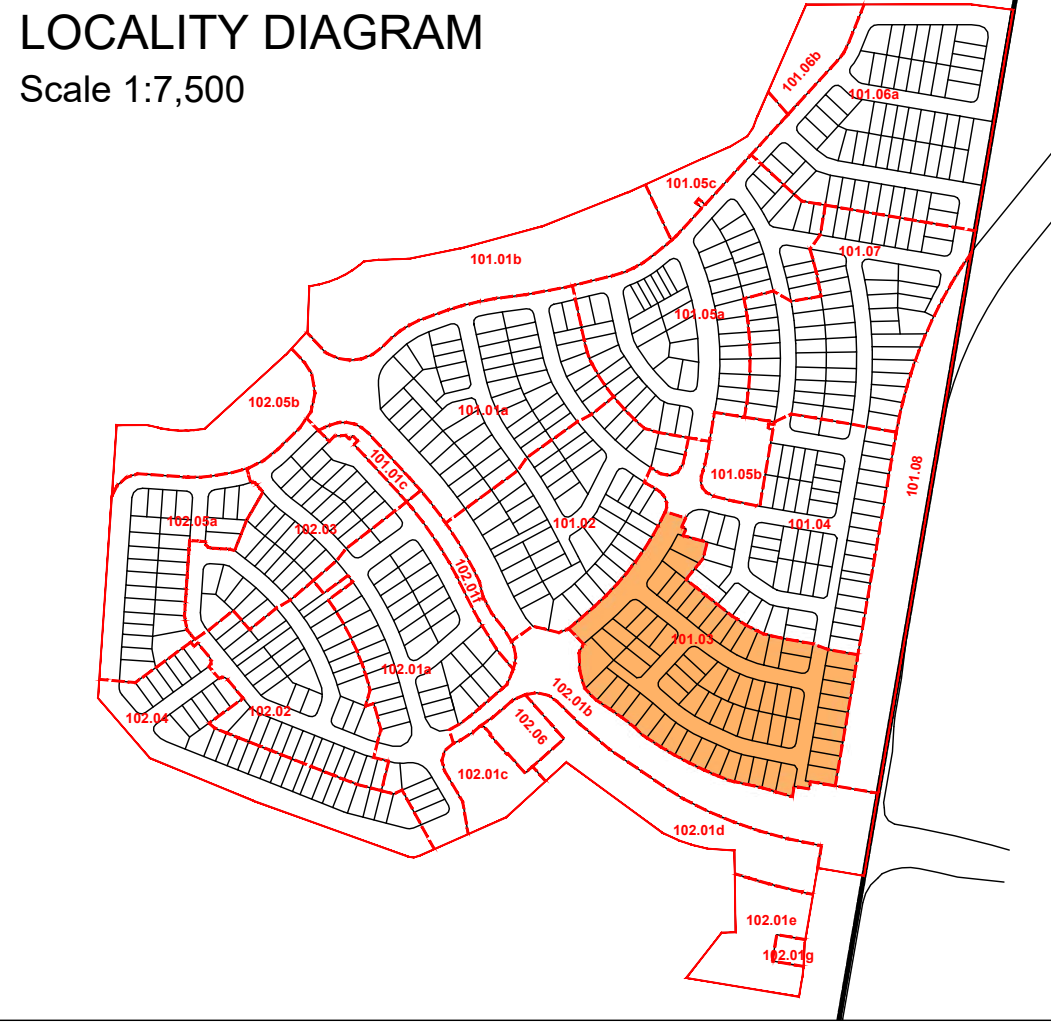
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.03



- LEGEND**
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Proposed Access Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Optional Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 29kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev O - POD 01)



SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.04



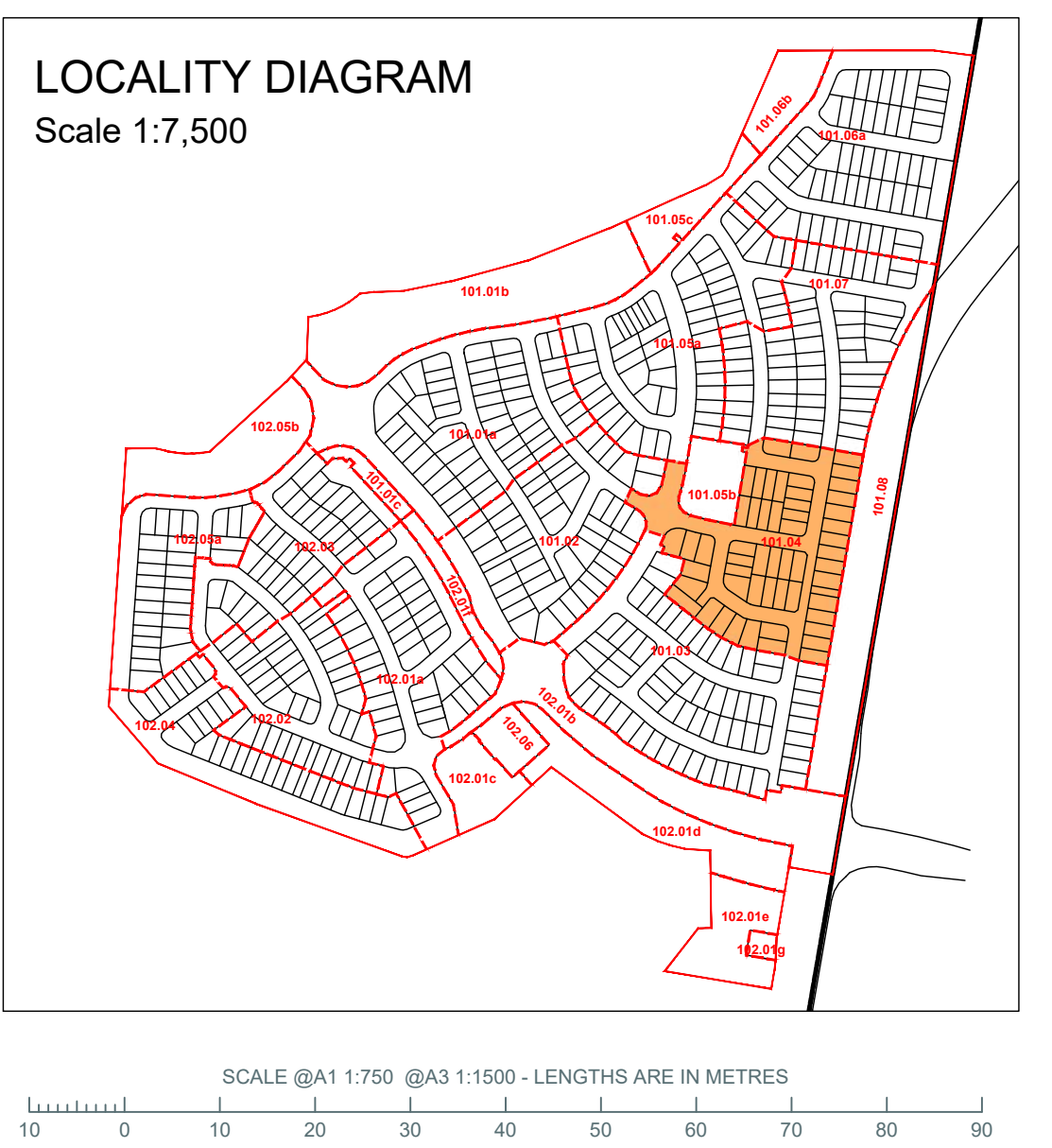
LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Linear Park / Pedestrian Linkage
- Indicative Bin Pad location
- Indicative PMT / RMU Site
- Optional Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location
- Lots which require increased setbacks
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to ground and upper floors
- Extent of bushfire Radiant Heat Flux 29kW/m2

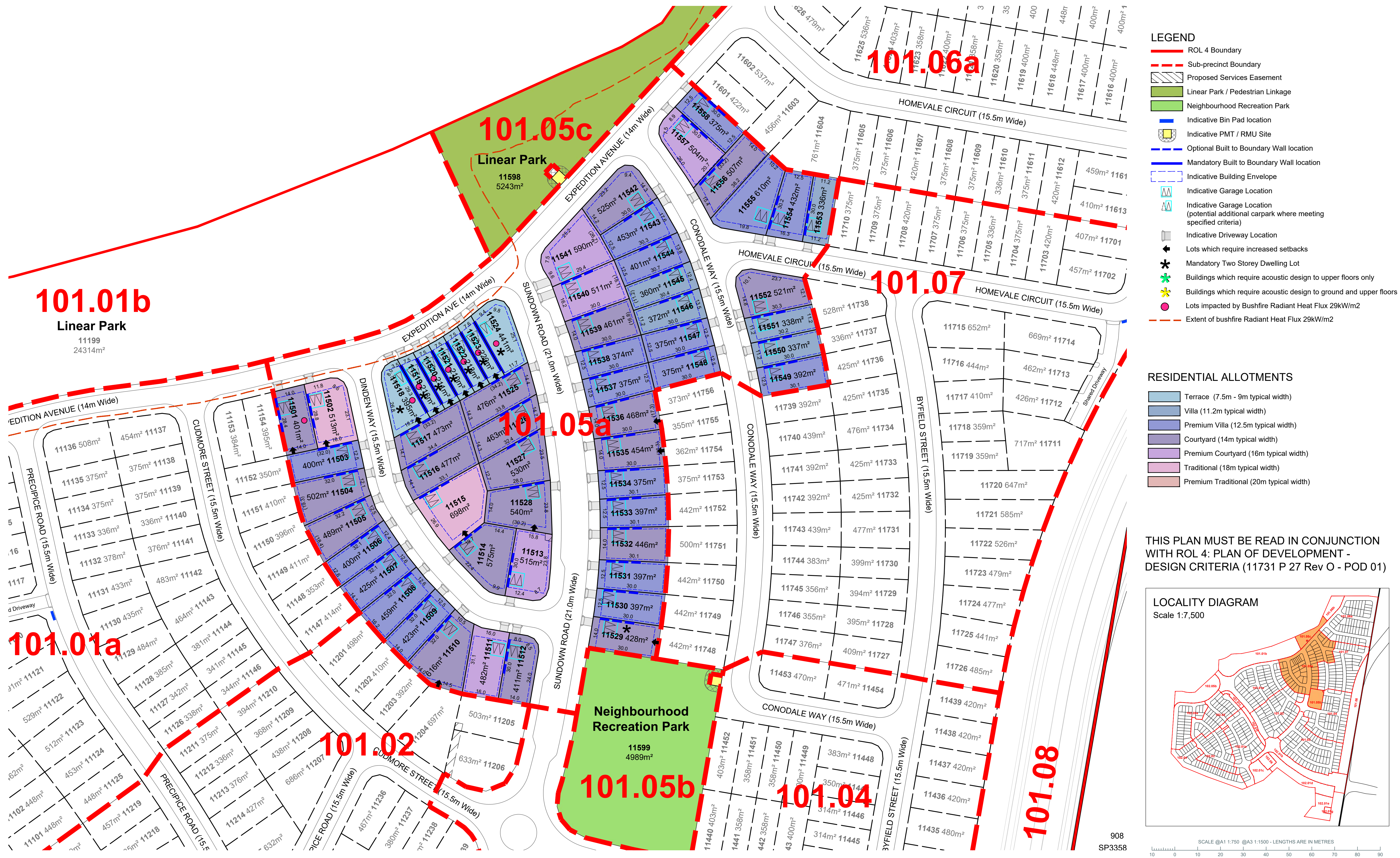
RESIDENTIAL ALLOTMENTS

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- Premium Villa (12.5m typical width)
- Courtyard (14m typical width)
- Premium Courtyard (16m typical width)
- Traditional (18m typical width)
- Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev O - POD 01)



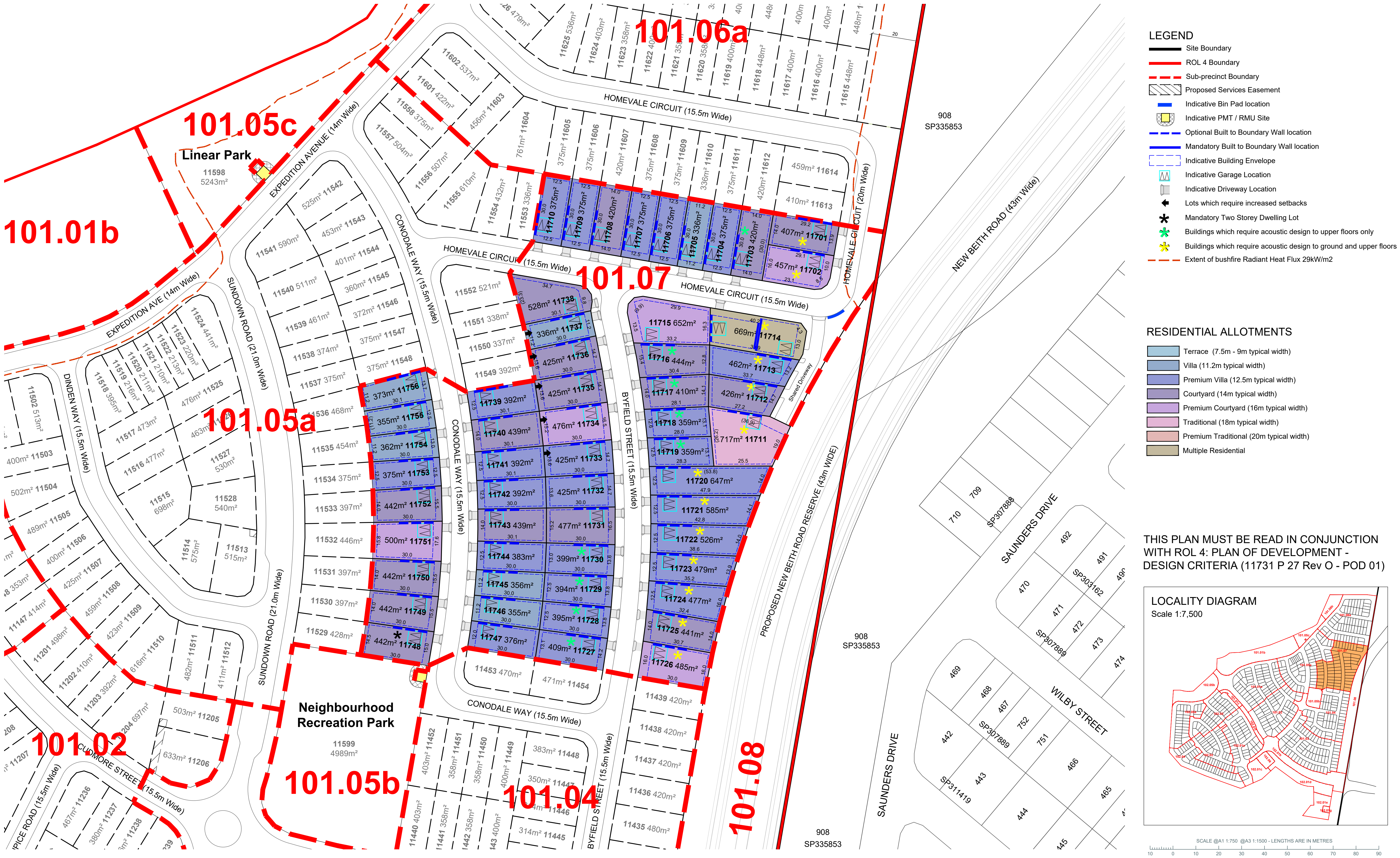
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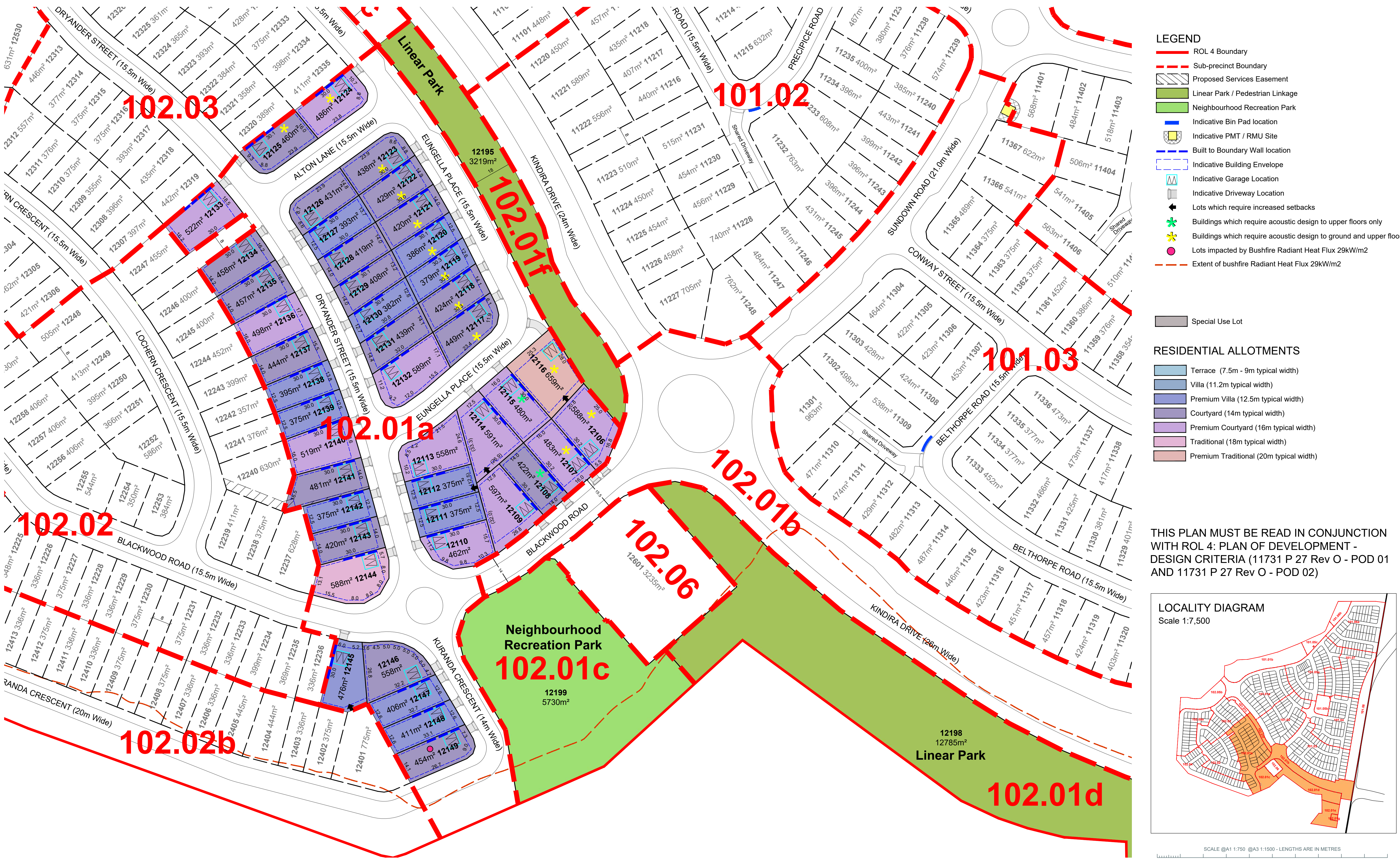
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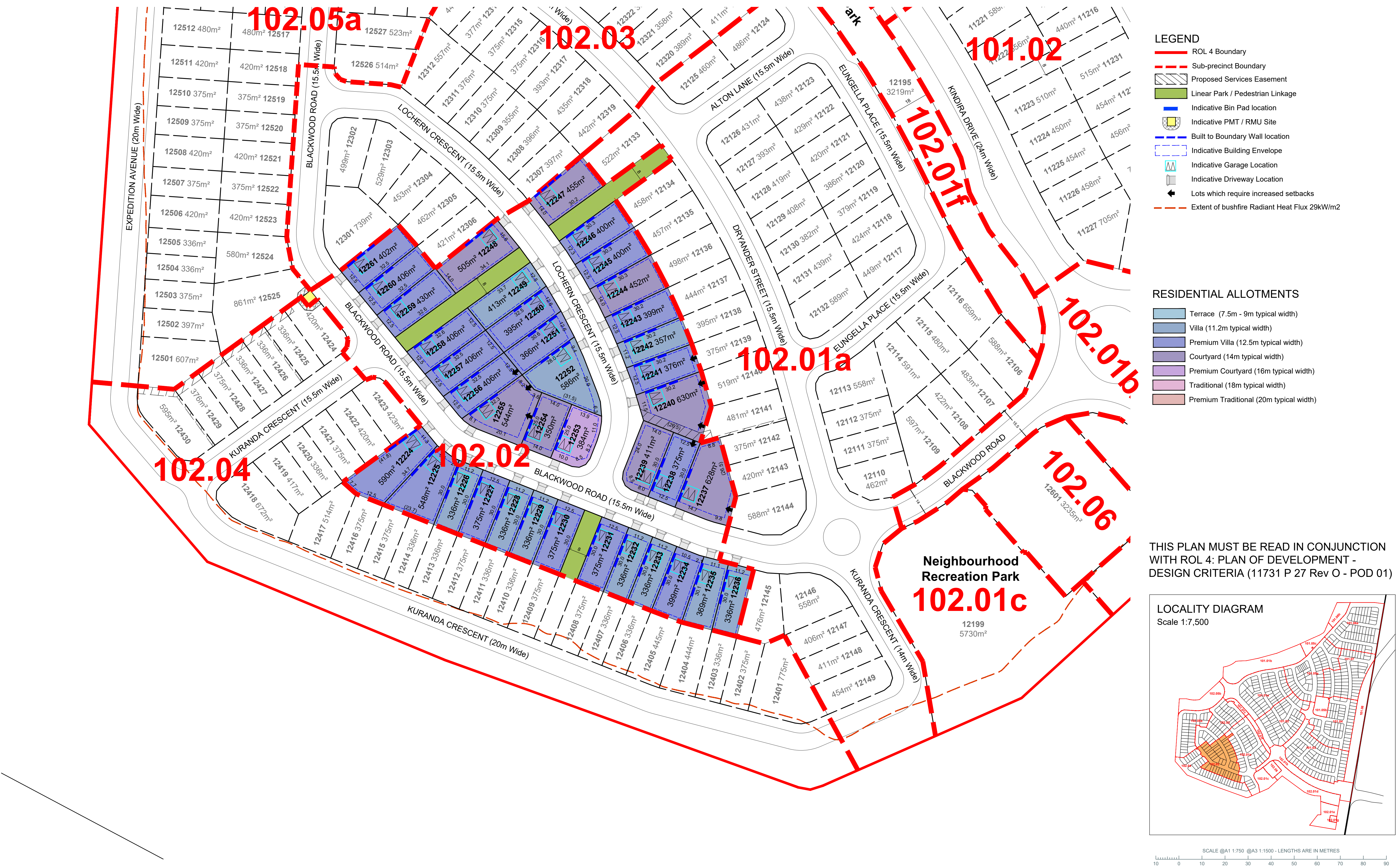
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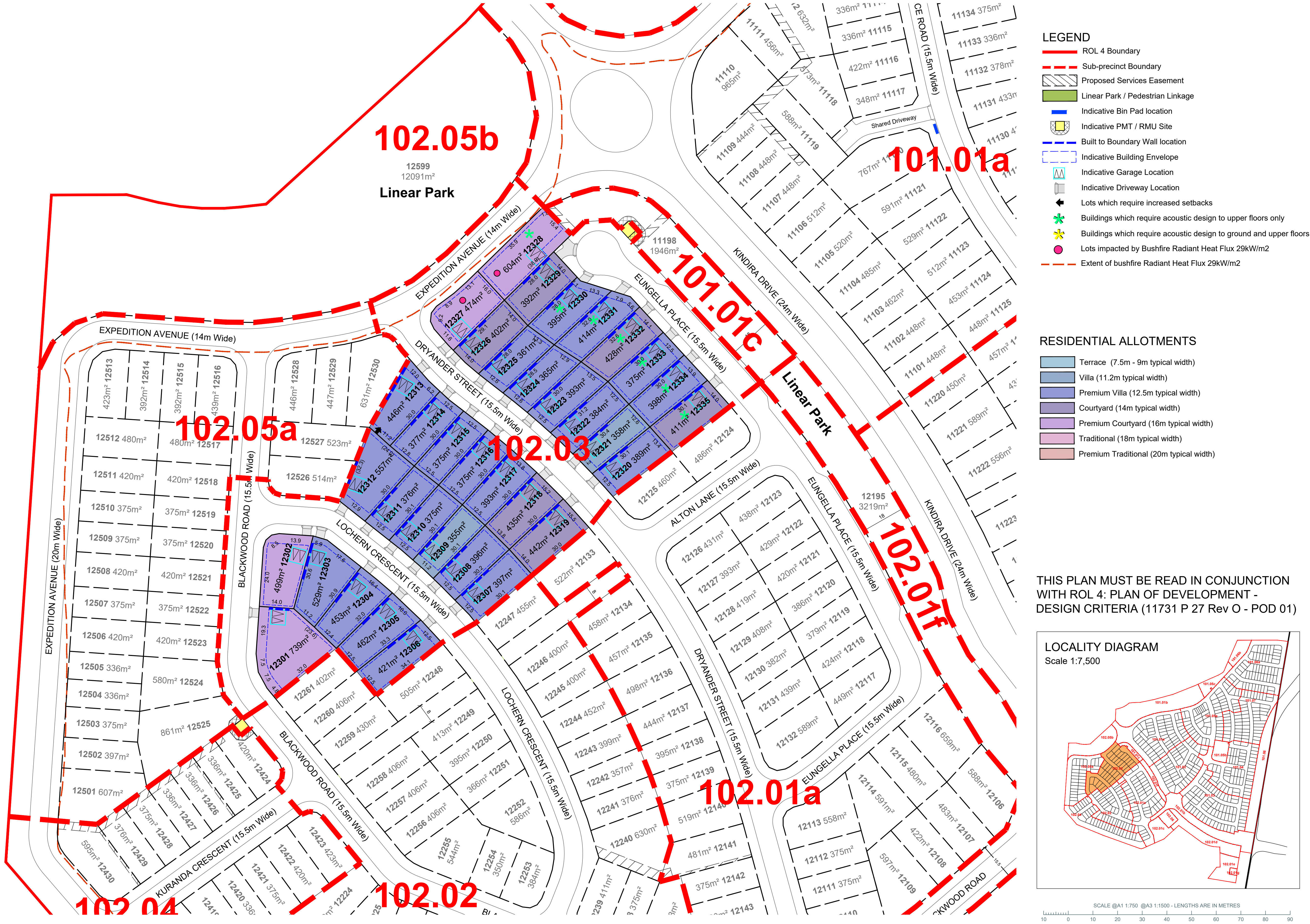
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.01



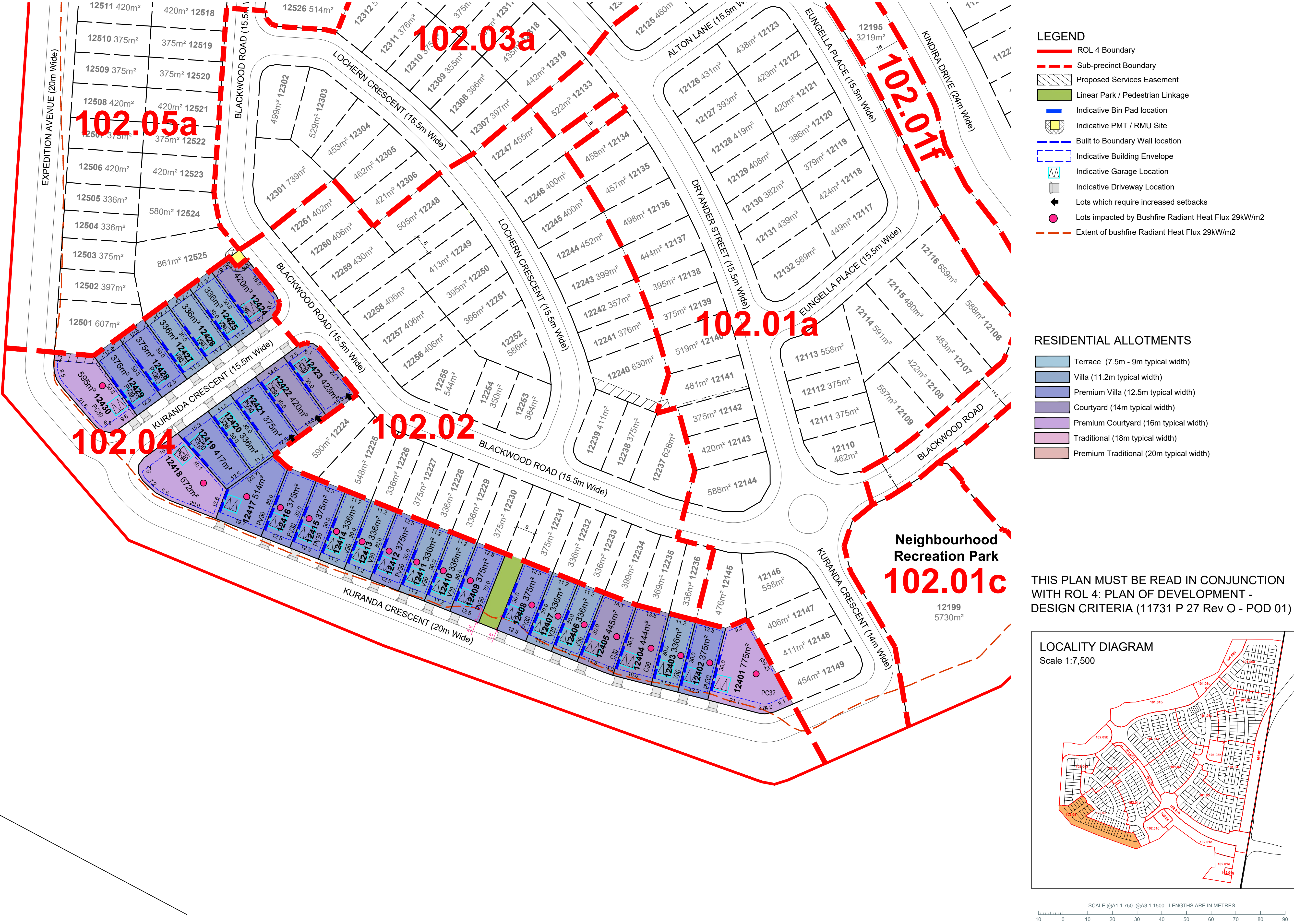
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.02



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.03



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.04



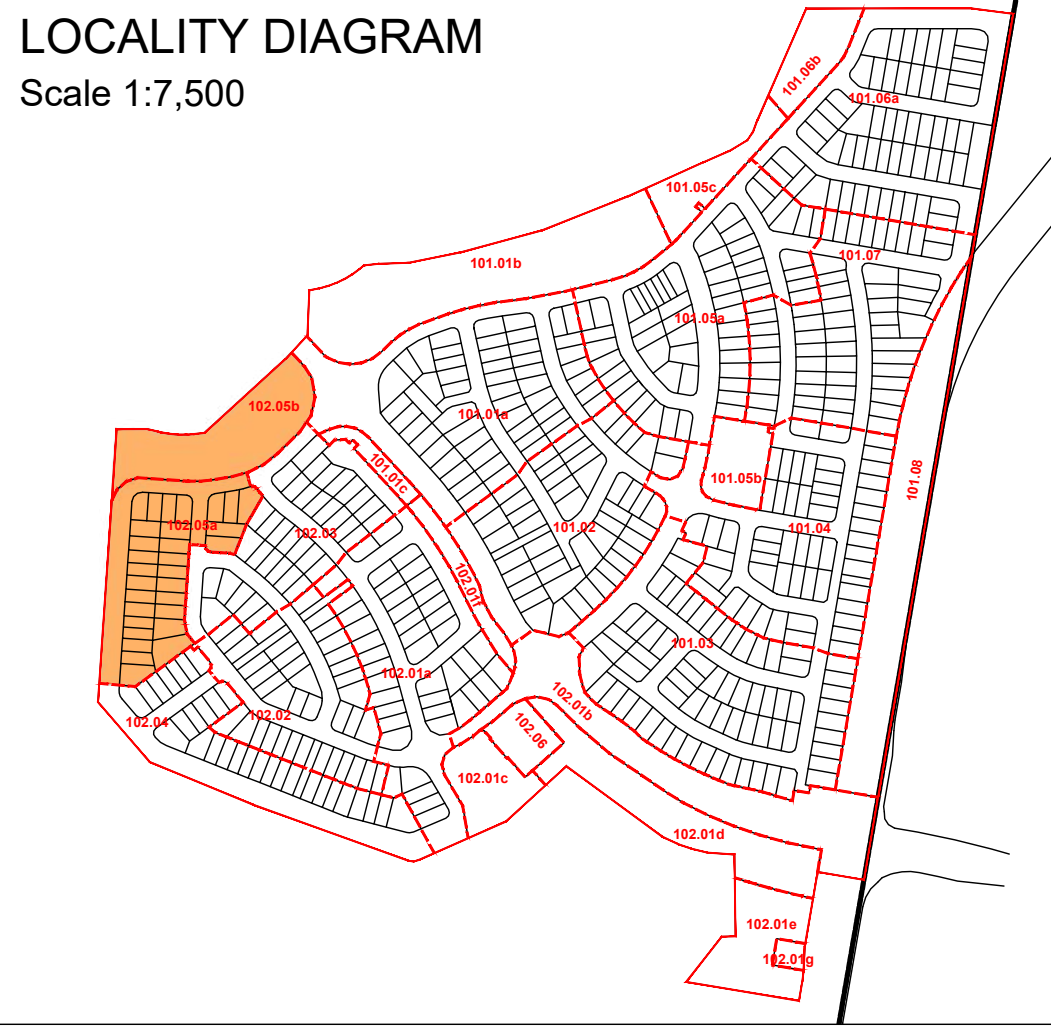
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.05



- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Lots impacted by Bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev O - POD 01)



SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

