

BLACKWOOD ROAD

12302

12303

12304

12305

12301
739 m²

12261
SP357518

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)

NOTES

1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

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MONARCH GLEN

PRECINCT 102.03



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE
CHECKED		TG	

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SCALE
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0 1 2 5m

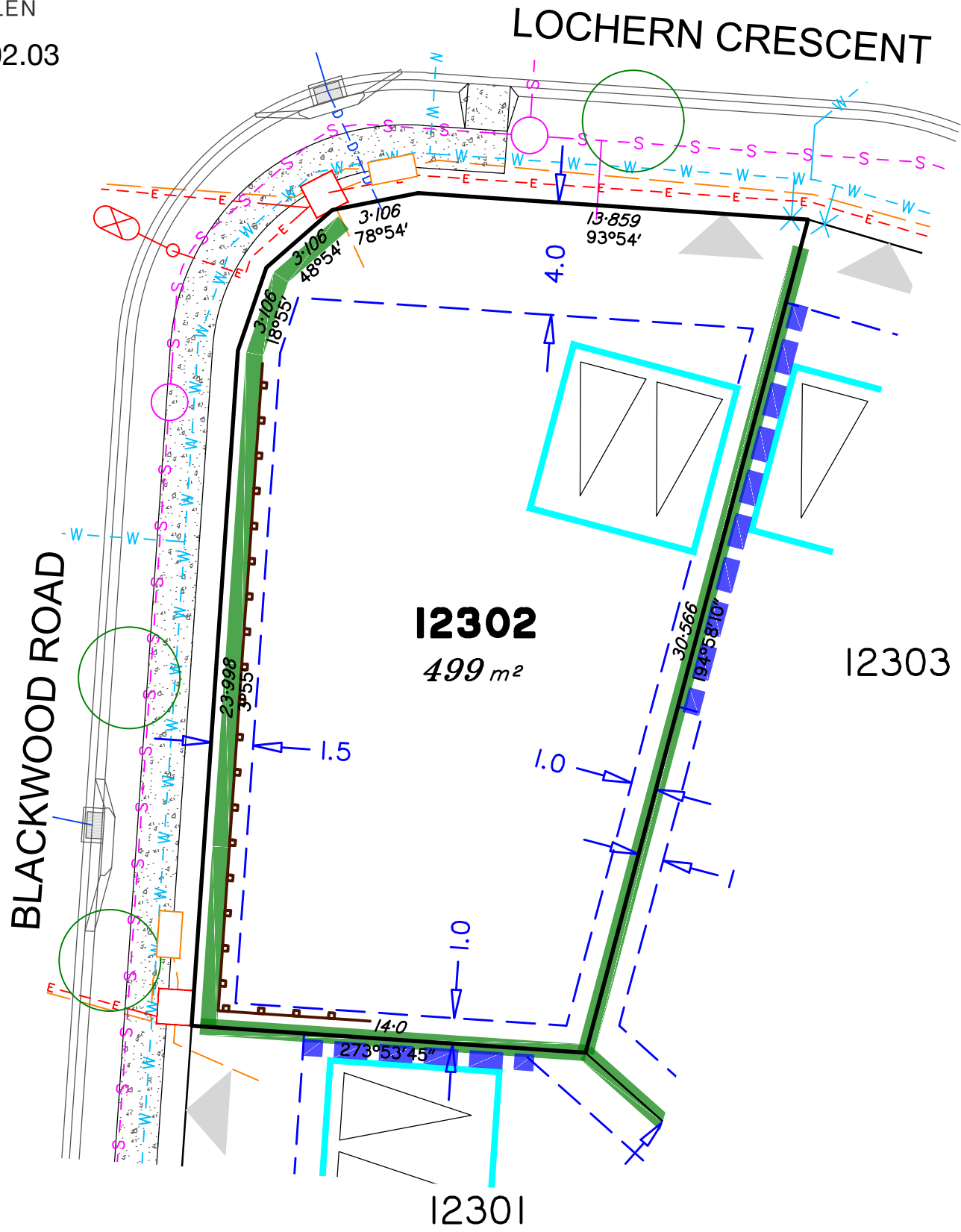
PLAN OF	
PROPOSED LOT 12301 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12301



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MONARCH GLEN
PRECINCT 102.03



LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)

NOTES

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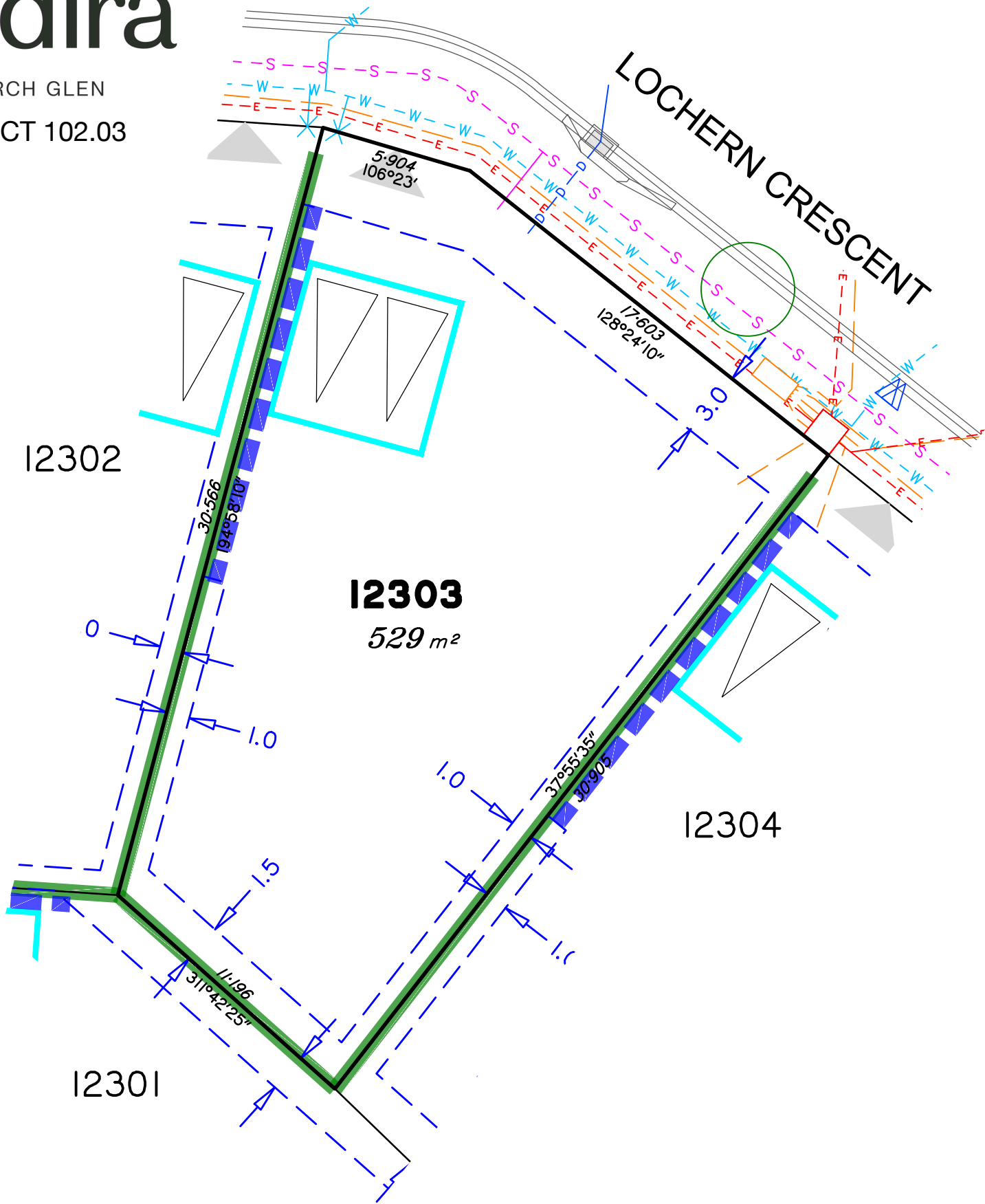
PLAN OF		PROPOSED LOT 12302 ON SP357519	
DESCRIBED AS:		PART OF LOT 1 ON SP351245	
EXISTING TITLE REFERENCE:		51370117	
LOCALITY:		MONARCH GLEN	LOCAL GOVERNMENT:
			LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	
11731 S 09 AD A_12302	



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MONARCH GLEN
PRECINCT 102.03



LEGEND

SERVICES & FEATURES

- E ELECTRICAL
- Eg ELECTRICAL & GAS SHARED TRENCH (TBA)
- G GAS (TBA)
- NBN
- S Sewer Line / Manhole
- SW Stormwater Line / Manhole
- D Roofwater Line / Pit / Kerb Adaptor
- W Water
- Retaining Wall
- Acoustic Fence (Constructed by Mirvac)
- Feature Fence (Constructed by Mirvac)
- Stormwater Gully Pit
- Streetlight
- Electrical Pillar
- NBN Pit
- Water Meter Box (Meter by Owner/Builder)
- Street Tree

PLAN OF DEVELOPMENT

- Building Envelope (Ground Floor)
- Optional Built to Boundary Wall
- Indicative Driveway Crossover
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to ground and upper floors
- Indicative Garage Location (Setback 5m from Boundary)

NOTES

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PLAN OF		PROPOSED LOT 12303 ON SP357519
DESCRIBED AS:		PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:		51370117
LOCALITY:	MONARCH GLEN	LOCAL GOVERNMENT:
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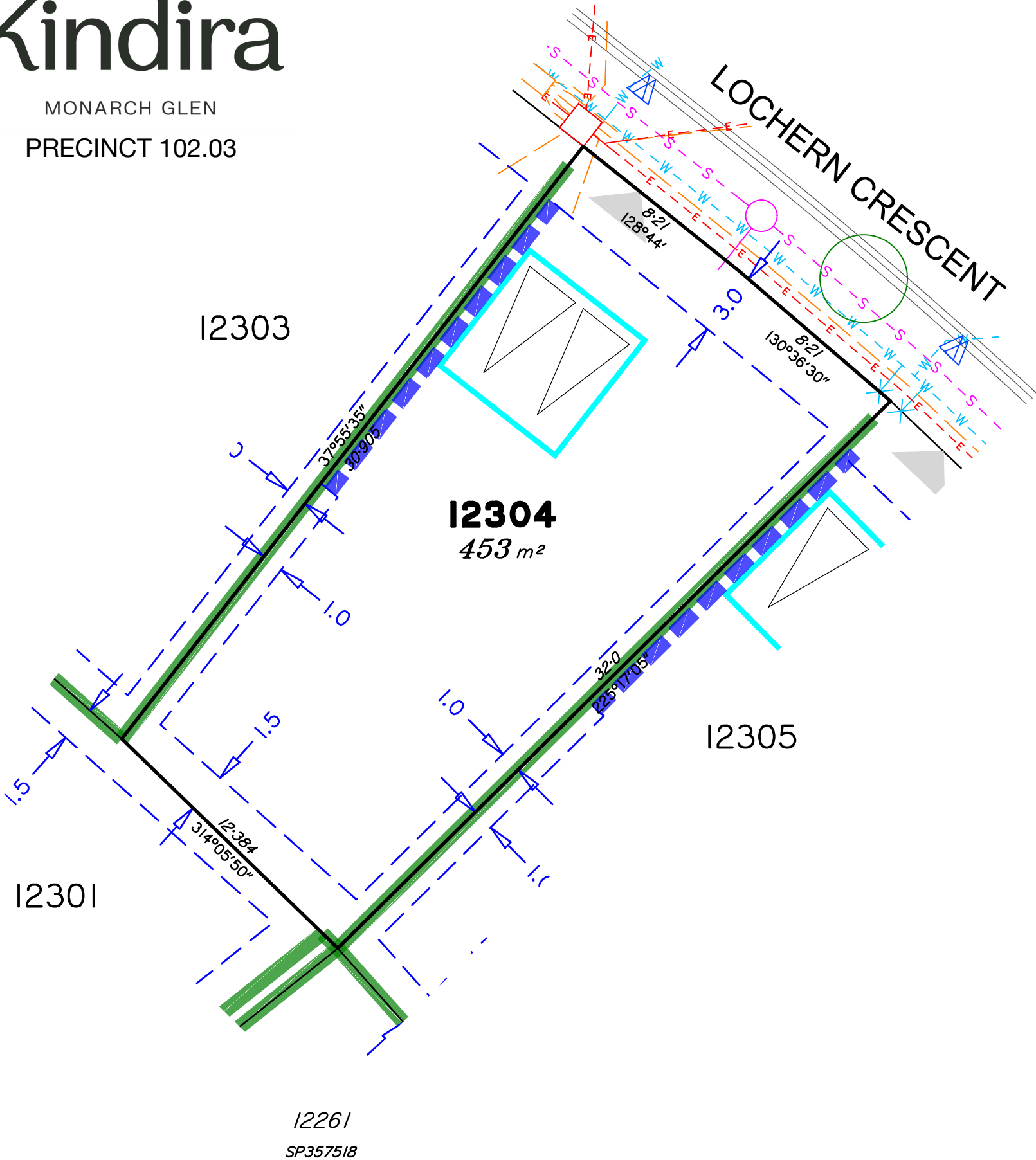
DRAWING TITLE		SERVICES AND OTHER FEATURES PLAN
DRAWING NO.		11731 S 09 AD A_12303



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MONARCH GLEN

PRECINCT 102.03



LEGEND

SERVICES & FEATURES

- E ELECTRICAL
- EG ELECTRICAL & GAS SHARED TRENCH (TBA)
- G GAS (TBA)
- NBN
- S SEWER LINE / MANHOLE
- SW STORMWATER LINE / MANHOLE
- D ROOFWATER LINE / PIT / KERB ADAPTOR
- W WATER
- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT
- STREETLIGHT
- ELECTRICAL PILLAR
- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)

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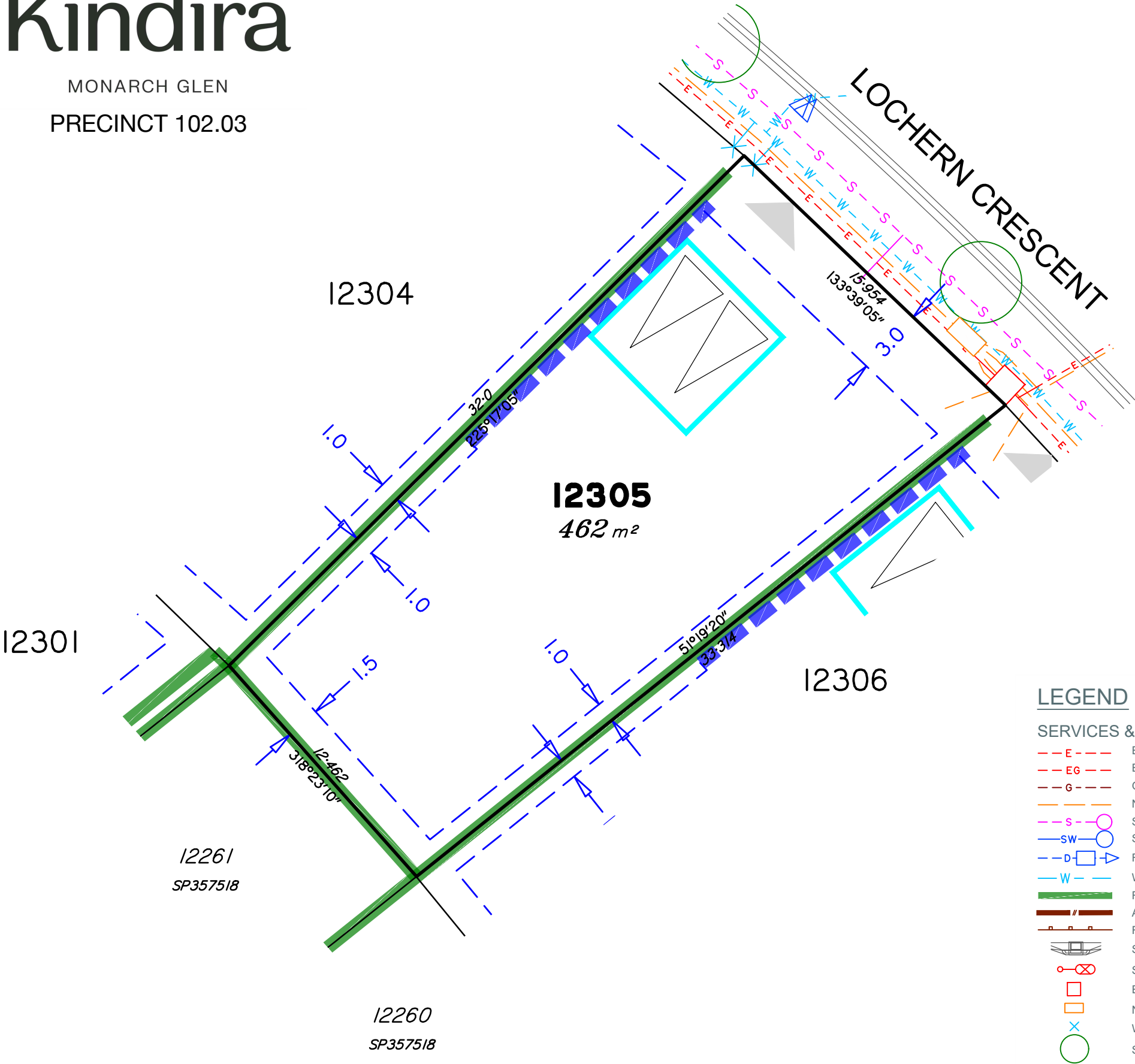
PLAN OF PROPOSED LOT 12304 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12304



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
- S --- SEWER LINE / MANHOLE
- SW --- STORMWATER LINE / MANHOLE
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- W --- WATER
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT --- STORMWATER GULLY PIT
- STREETLIGHT --- STREETLIGHT
- ELECTRICAL PILLAR --- ELECTRICAL PILLAR
- NBN PIT --- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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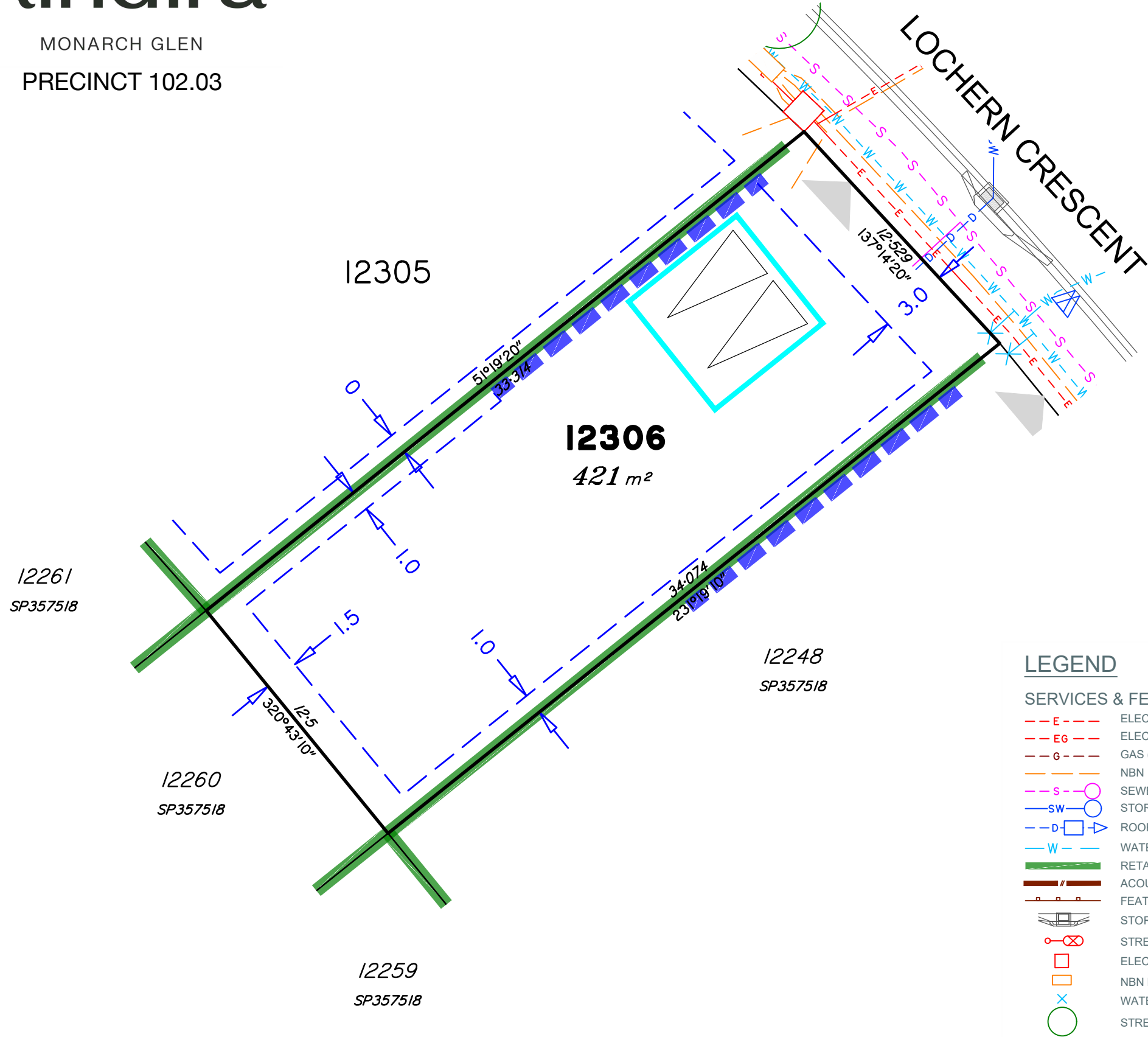
PLAN OF		PROPOSED LOT 12305 ON SP357519
DESCRIBED AS:		PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:		51370117
LOCALITY:	MONARCH GLEN	LOCAL GOVERNMENT:
		LOGAN CITY COUNCIL

DRAWING TITLE		SERVICES AND OTHER FEATURES PLAN
DRAWING NO.		11731 S 09 AD A_12305



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PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
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- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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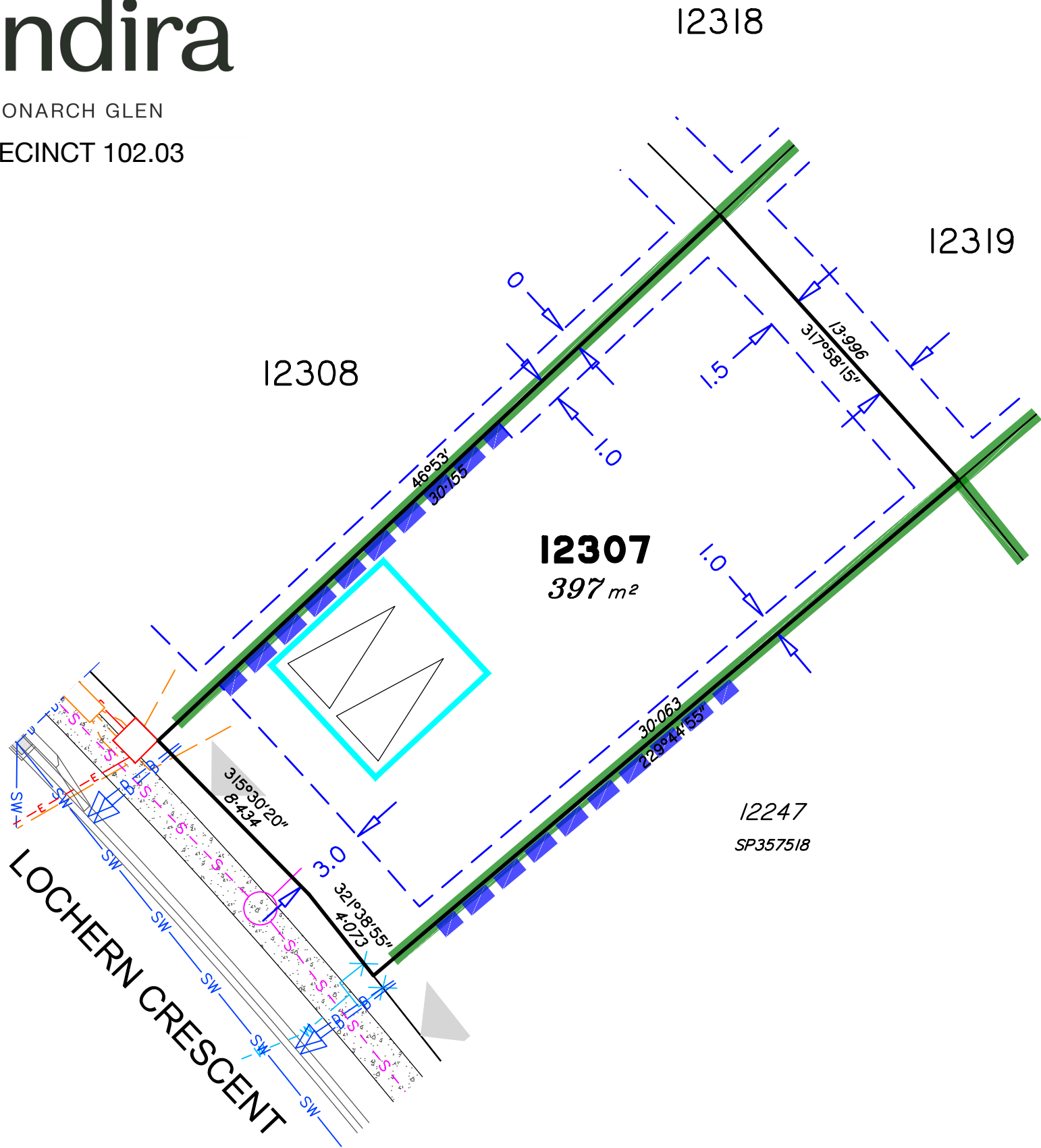
PLAN OF PROPOSED LOT 12306 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12306



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MONARCH GLEN
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
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PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 12307 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

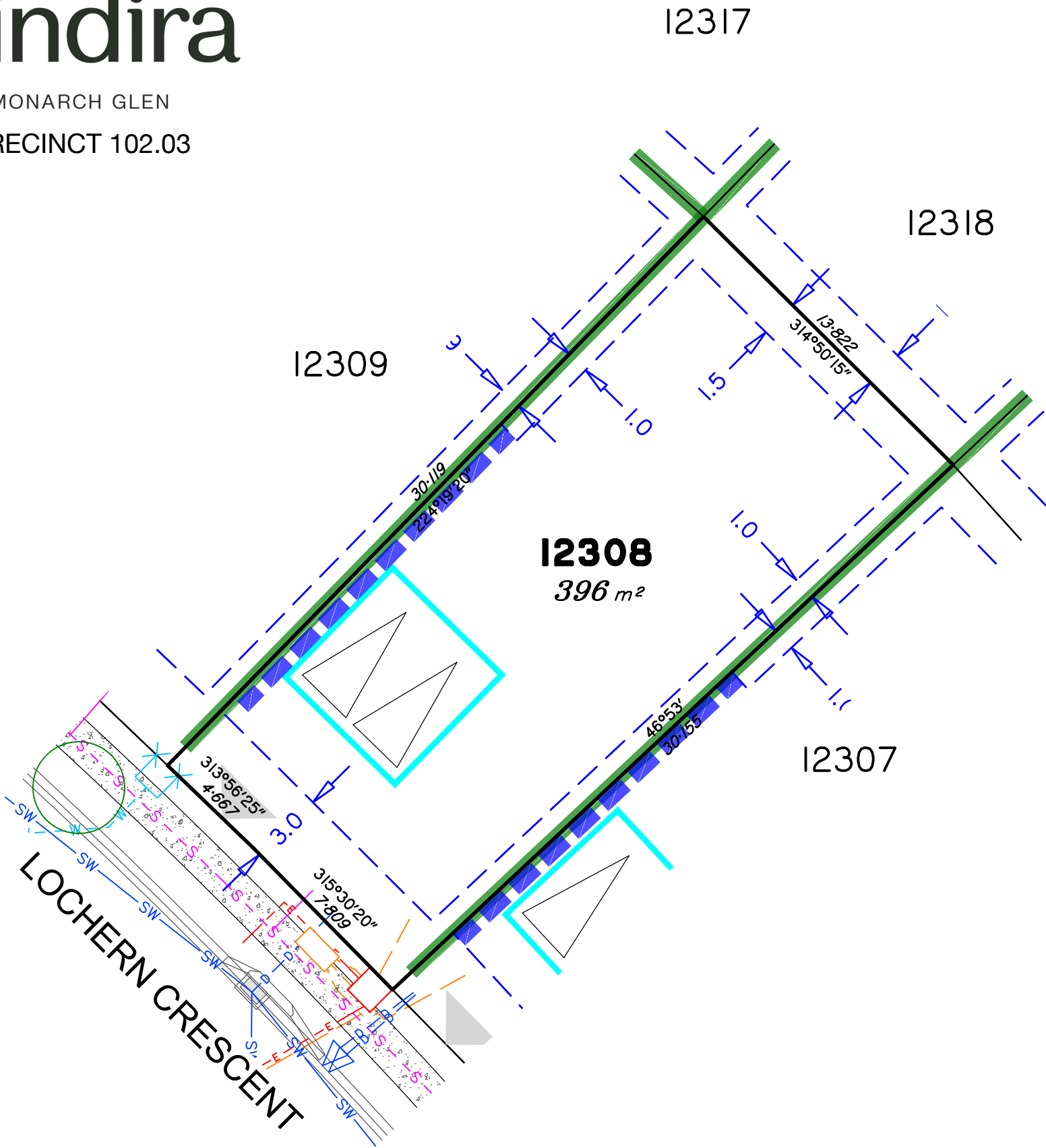
DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12307



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- Feature Fence --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
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- Streetlight --- STREETLIGHT
- Electrical Pillar --- ELECTRICAL PILLAR
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- Street Tree --- STREET TREE

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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 12308 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

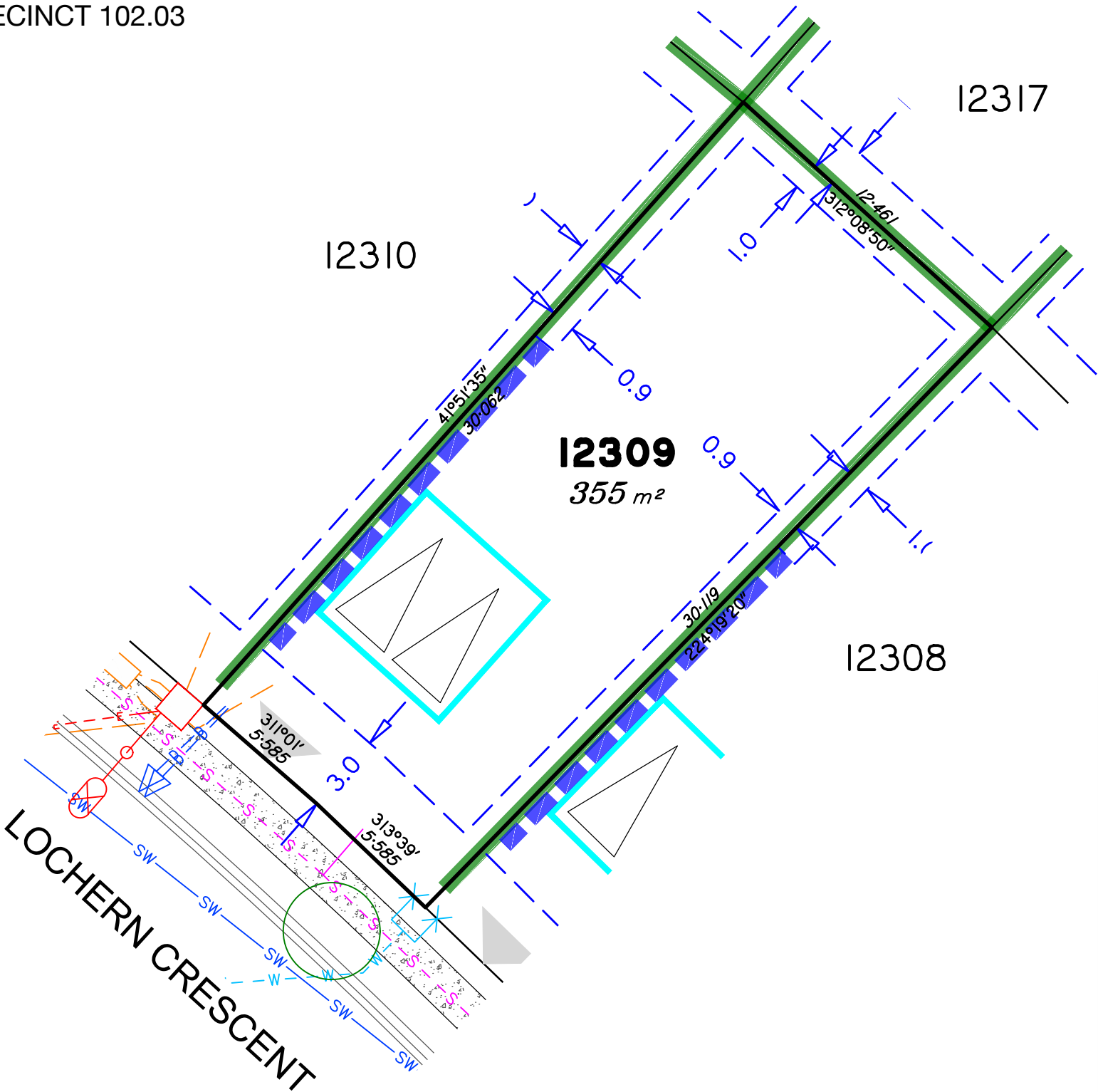
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SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12308



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MONARCH GLEN

PRECINCT 102.03



- NOTES
1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
 2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
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 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE

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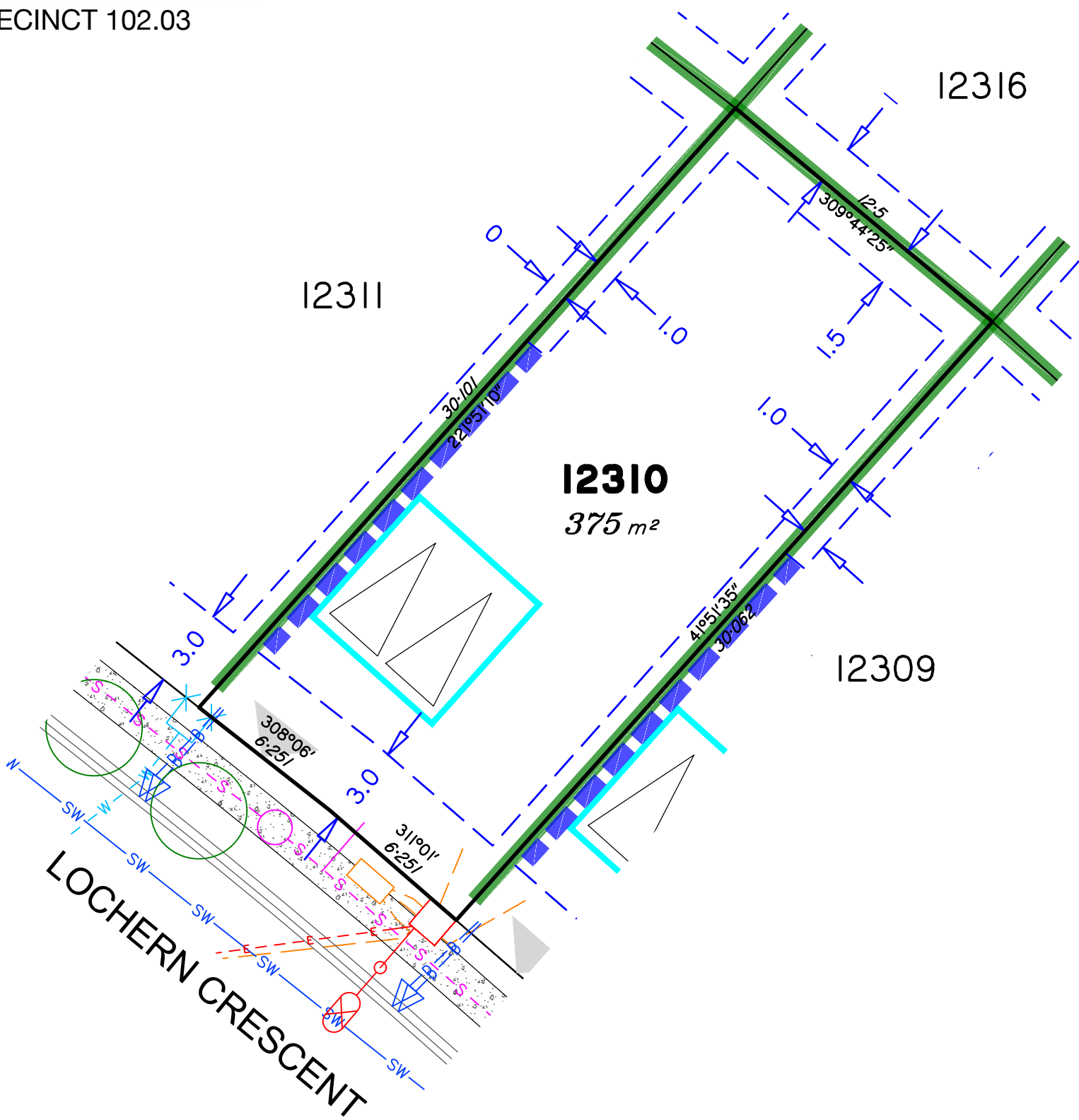
SCALE
1:200

0 1 2 5m

PLAN OF PROPOSED LOT 12309 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12309





- NOTES
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 - 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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mirvac

SCALE 1:200

0 1 2 5m

PLAN OF PROPOSED LOT 12310 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

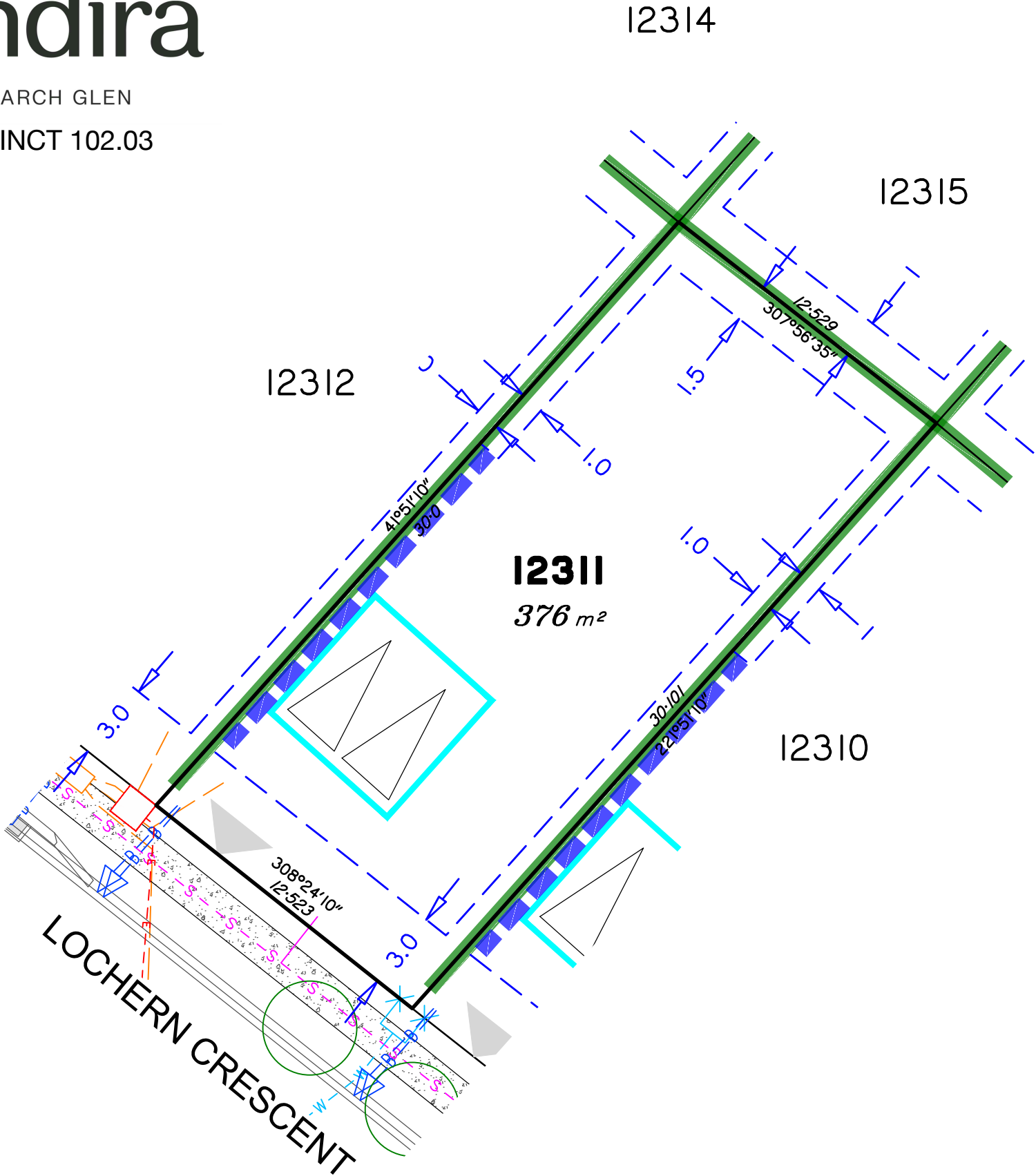
DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12310



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MONARCH GLEN

PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
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- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES				CHECKED TG
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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 12311 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

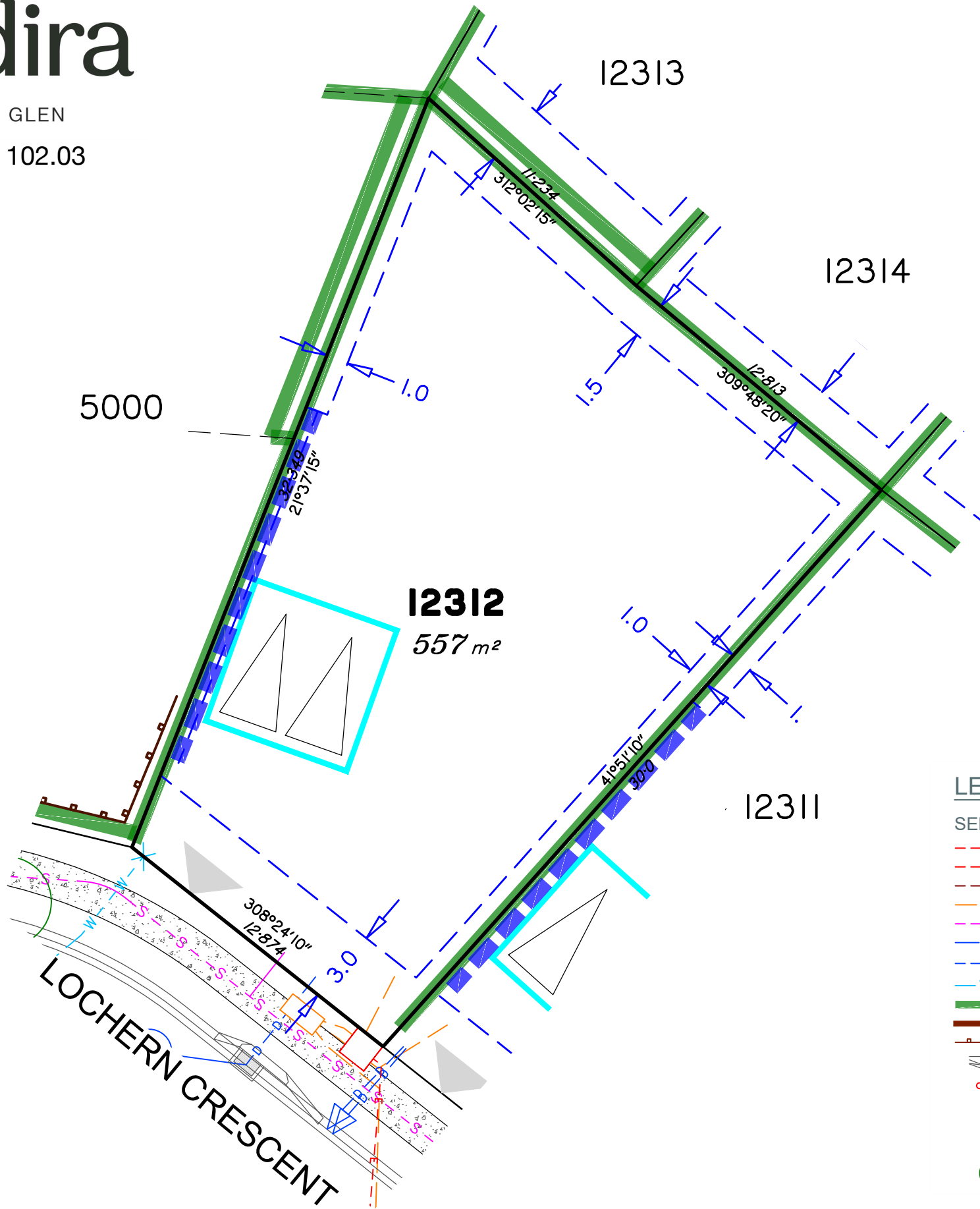
DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12311



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PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
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- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
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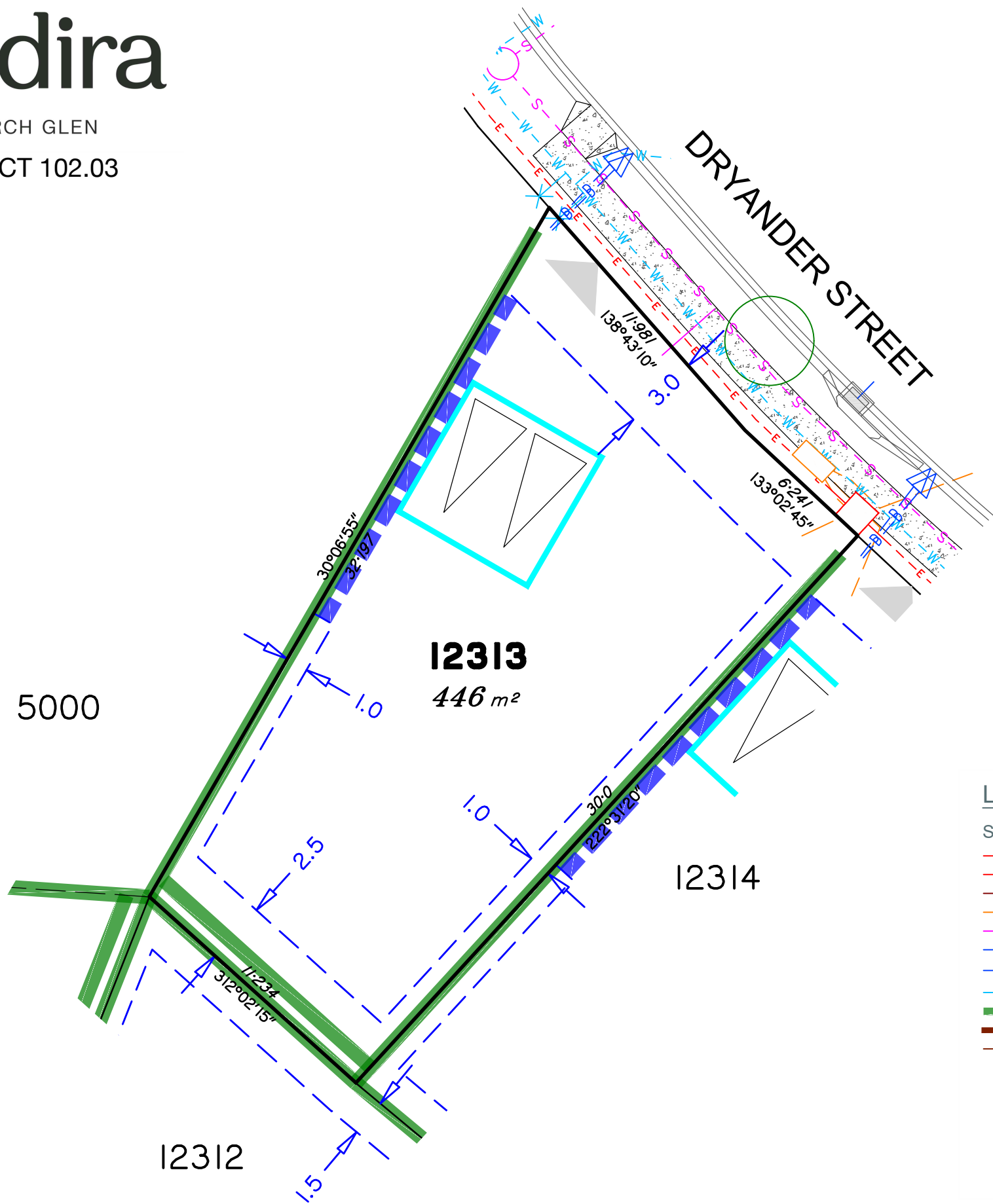
PLAN OF PROPOSED LOT 12312 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12312



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PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
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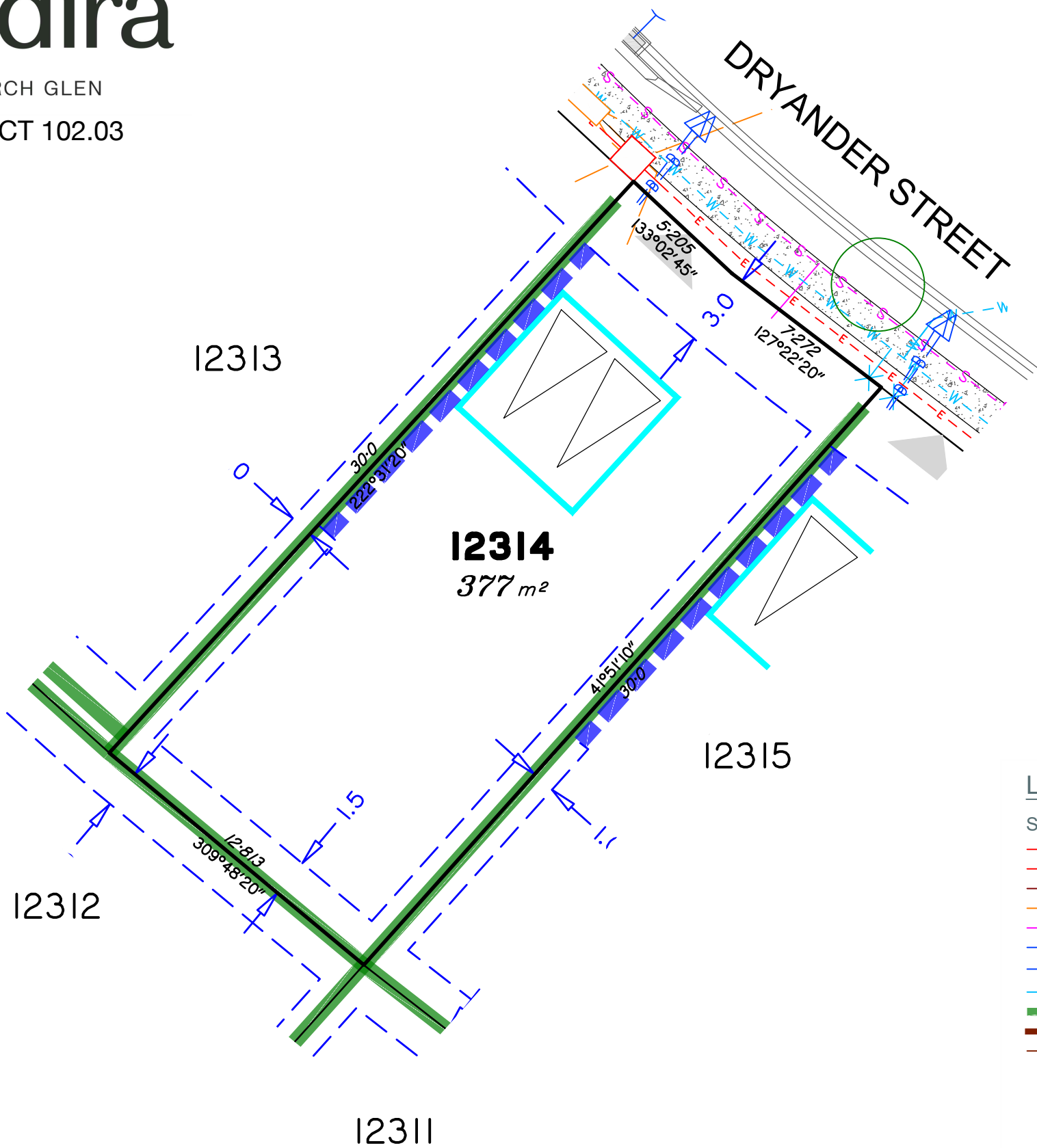
PLAN OF PROPOSED LOT 12313 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12313



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MONARCH GLEN
PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
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- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
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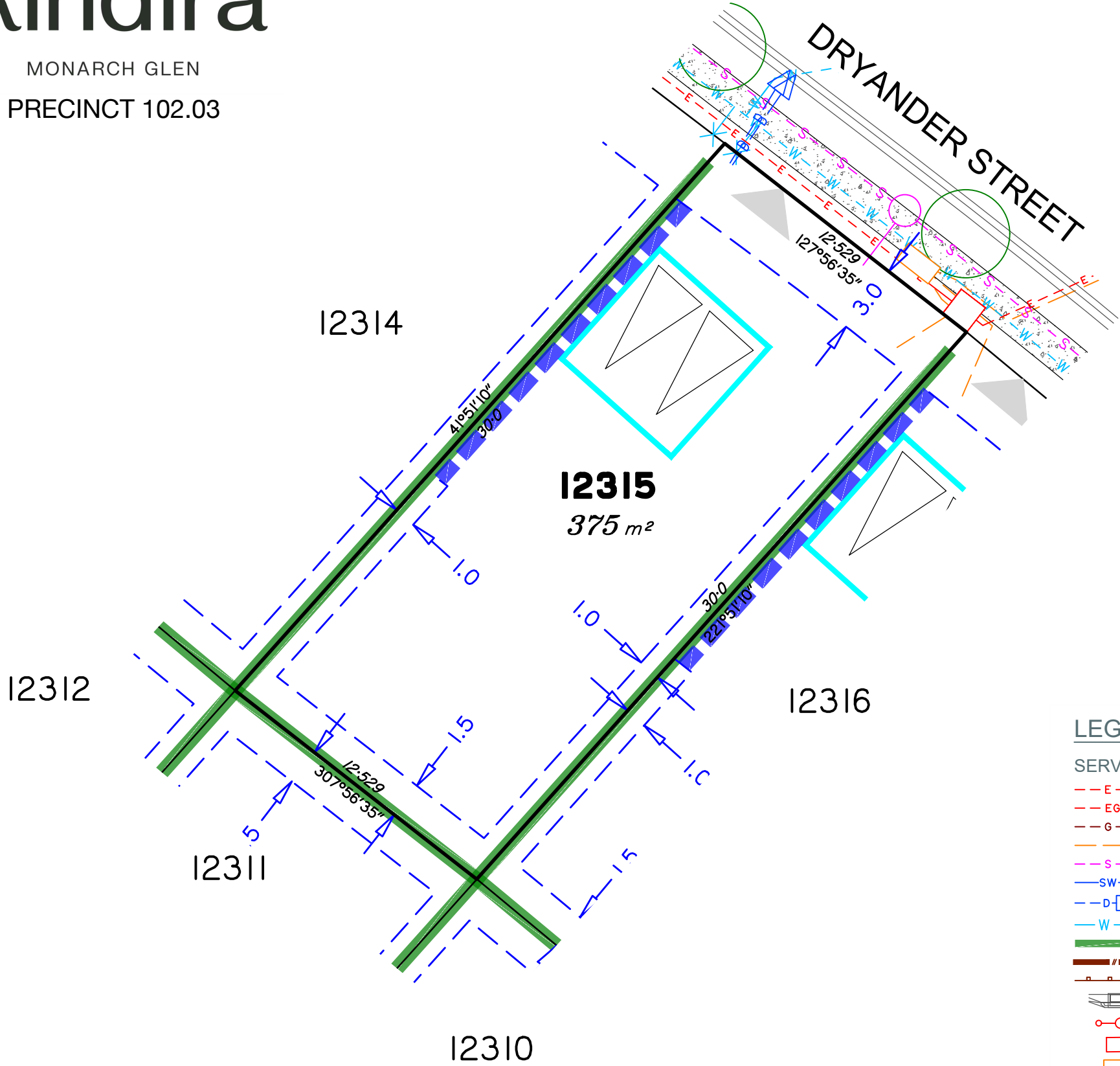
PLAN OF PROPOSED LOT 12314 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12314



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
- S --- SEWER LINE / MANHOLE
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- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT
- STREETLIGHT
- ELECTRICAL PILLAR
- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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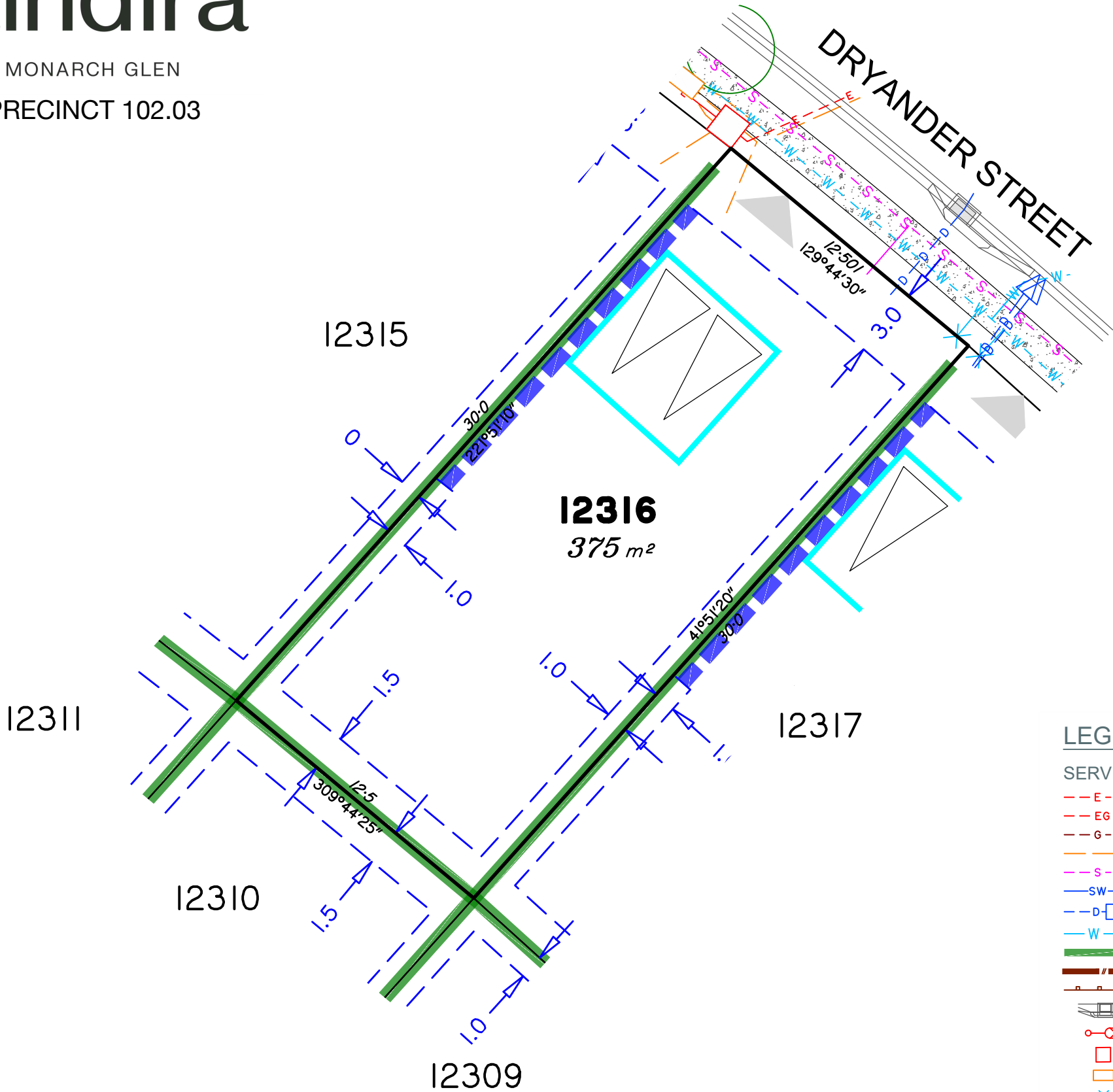
PLAN OF PROPOSED LOT 12315 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12315



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MONARCH GLEN
PRECINCT 102.03



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 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIER'S CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE

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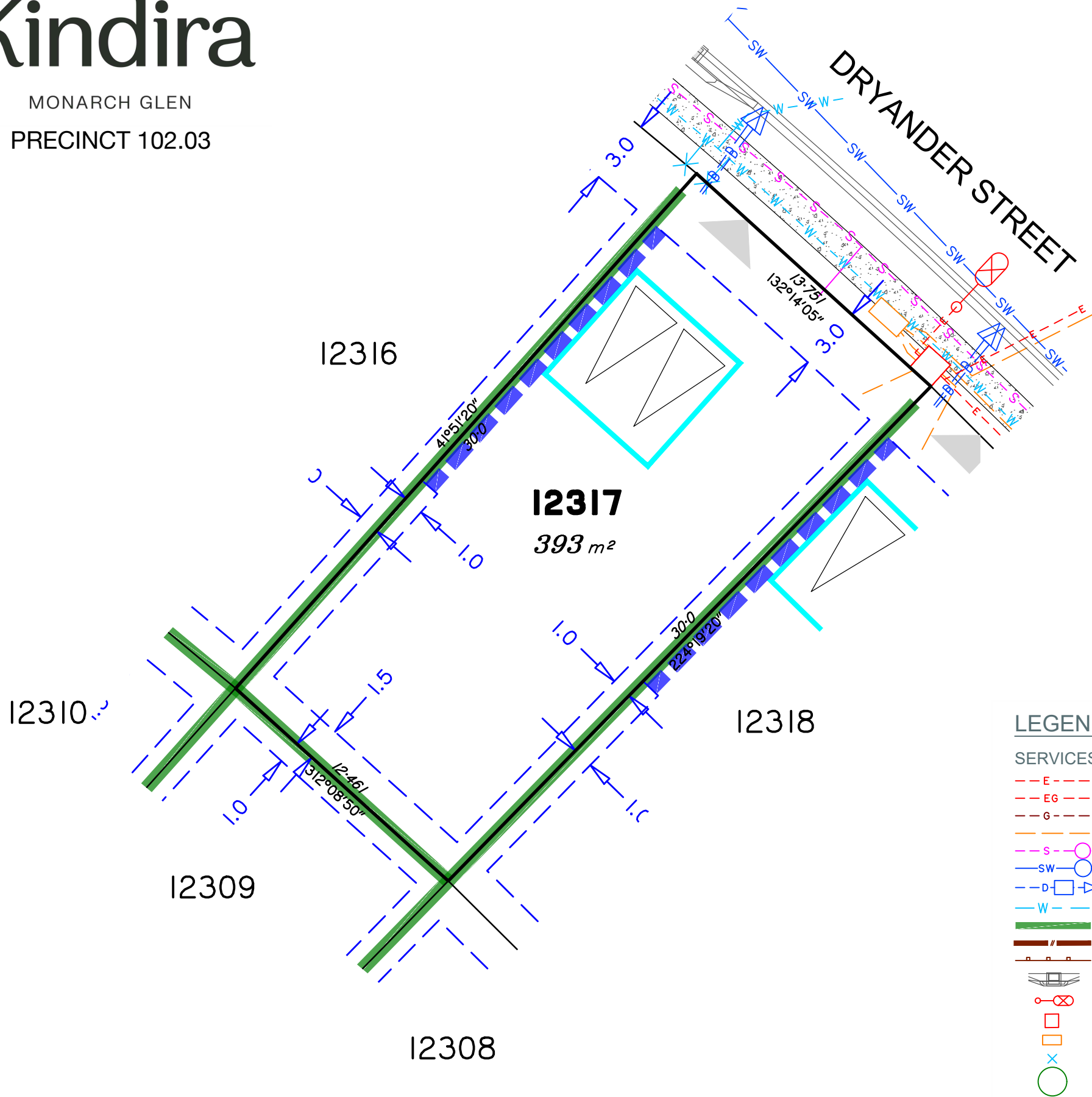
PLAN OF PROPOSED LOT 12316 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12316



Kindira

MONARCH GLEN
PRECINCT 102.03



- NOTES
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 - 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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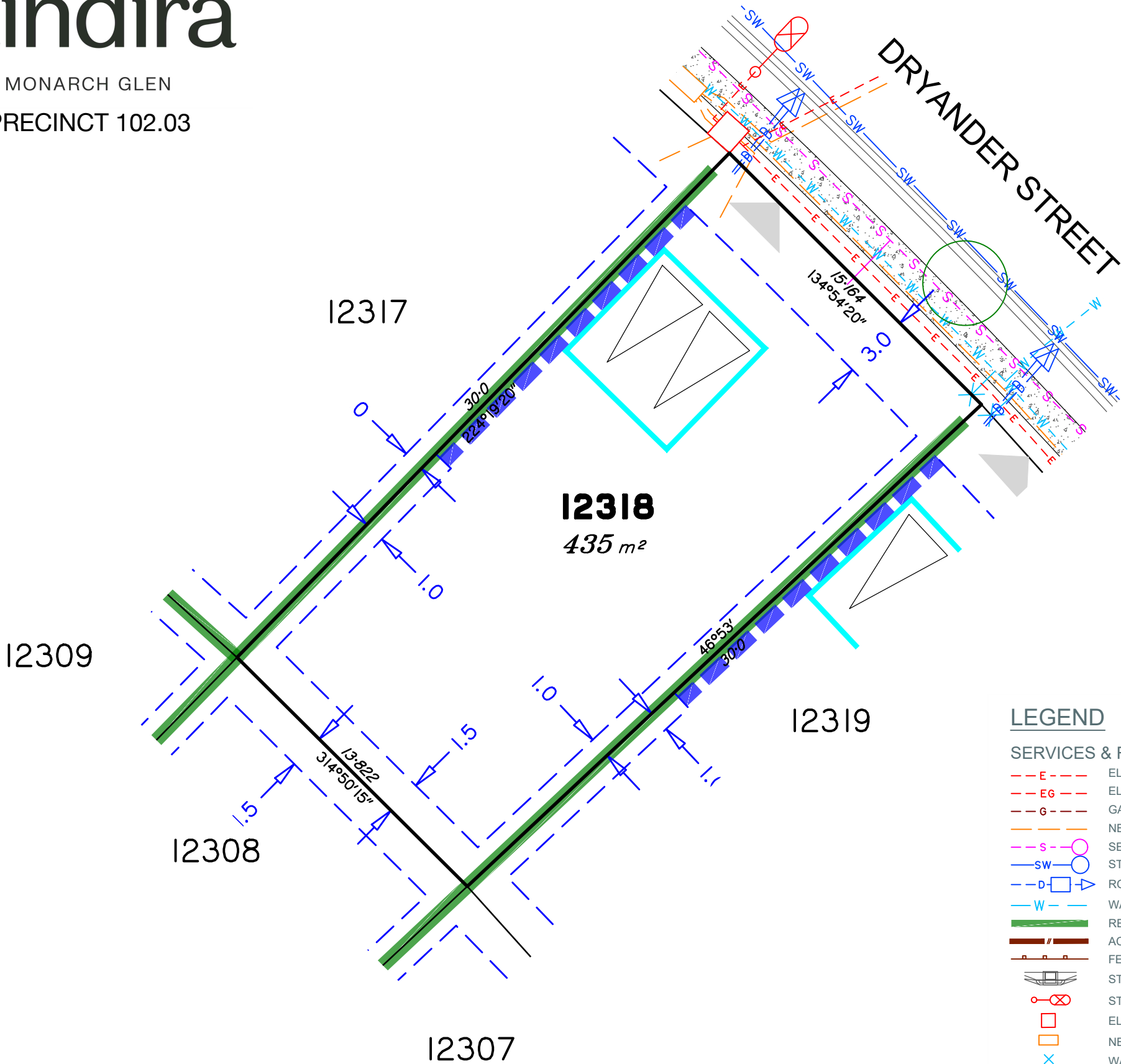
PLAN OF PROPOSED LOT 12317 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12317



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PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
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- STREETLIGHT--- STREETLIGHT
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- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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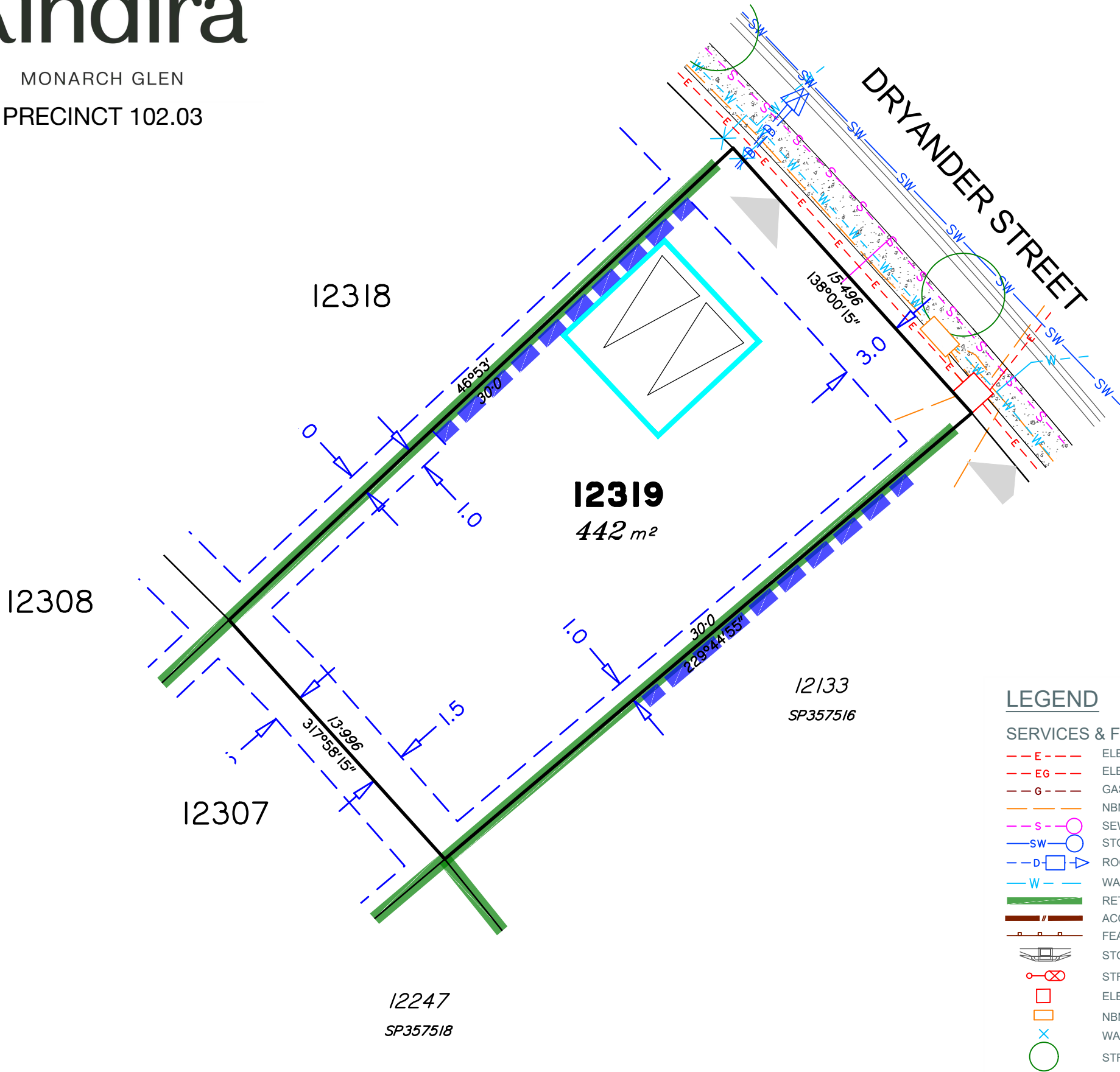
PLAN OF PROPOSED LOT 12318 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12318



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PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
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- W --- WATER
- RETAINING WALL --- RETAINING WALL
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT --- STORMWATER GULLY PIT
- STREETLIGHT --- STREETLIGHT
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- NBN PIT --- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
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PLAN OF PROPOSED LOT 12319 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

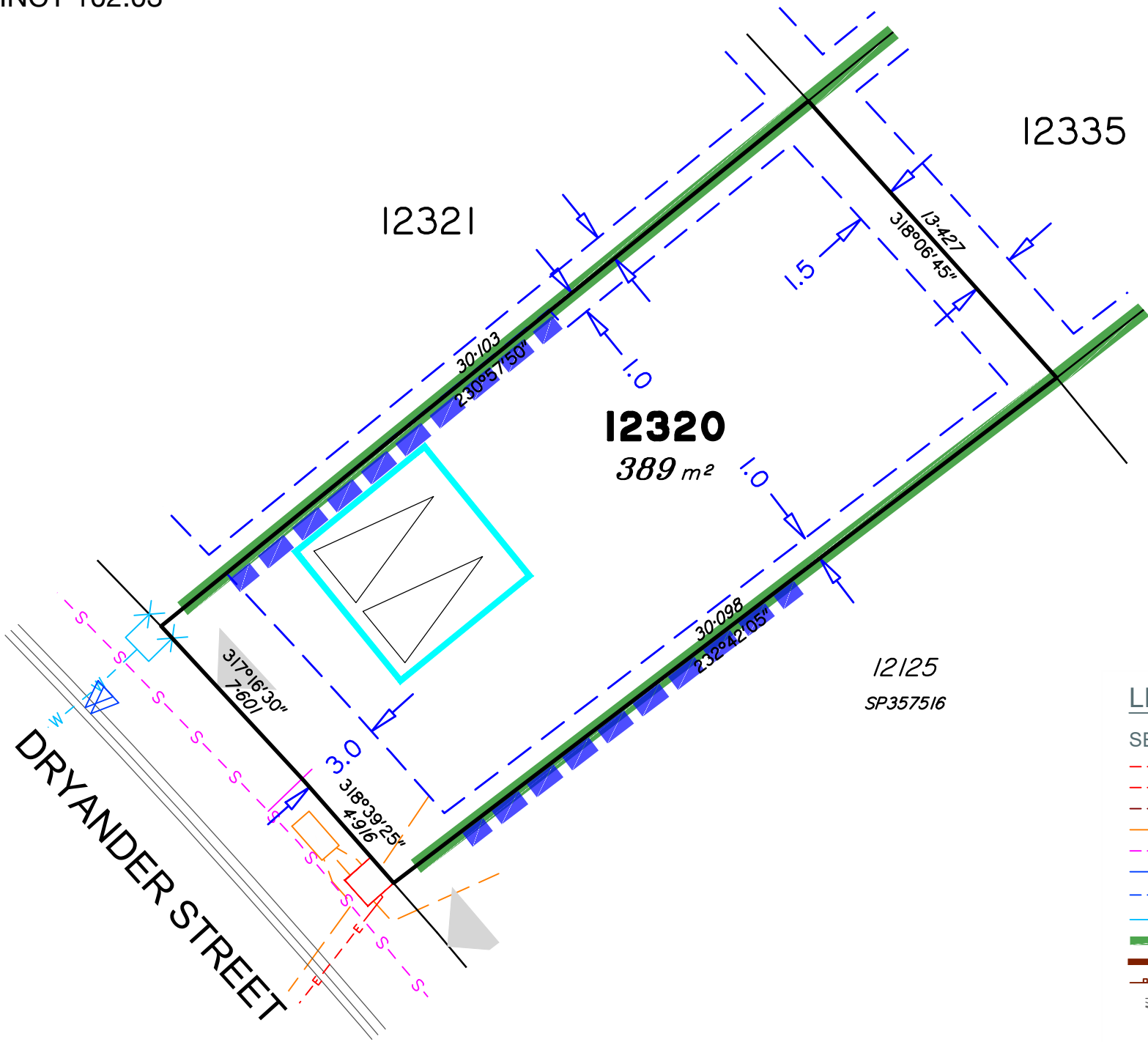
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SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12319



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MONARCH GLEN

PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
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- NBN PIT--- NBN PIT
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- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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PLAN OF PROPOSED LOT 12320 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

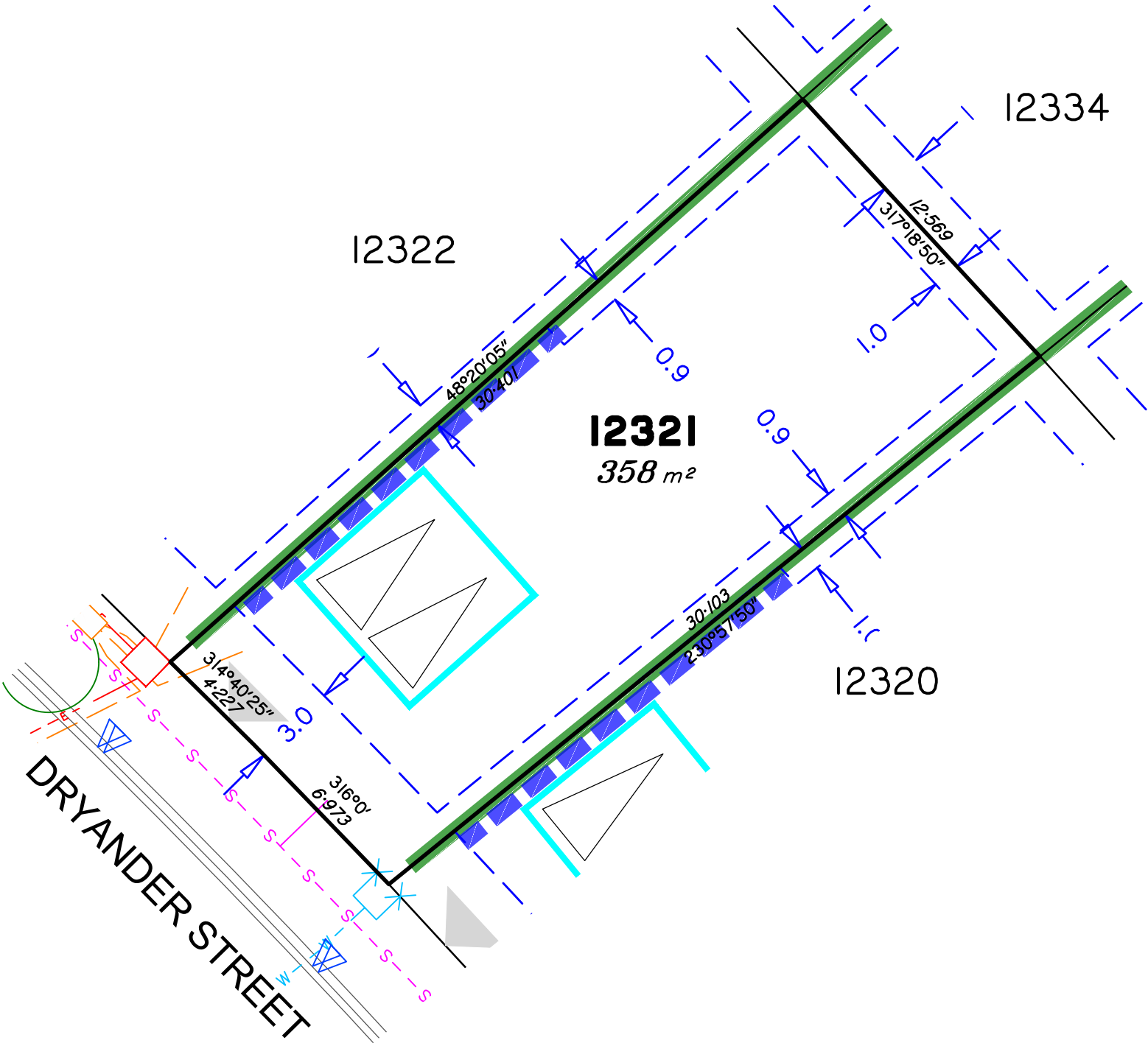
DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12320



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MONARCH GLEN

PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
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- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
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PLAN OF PROPOSED LOT 12321 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

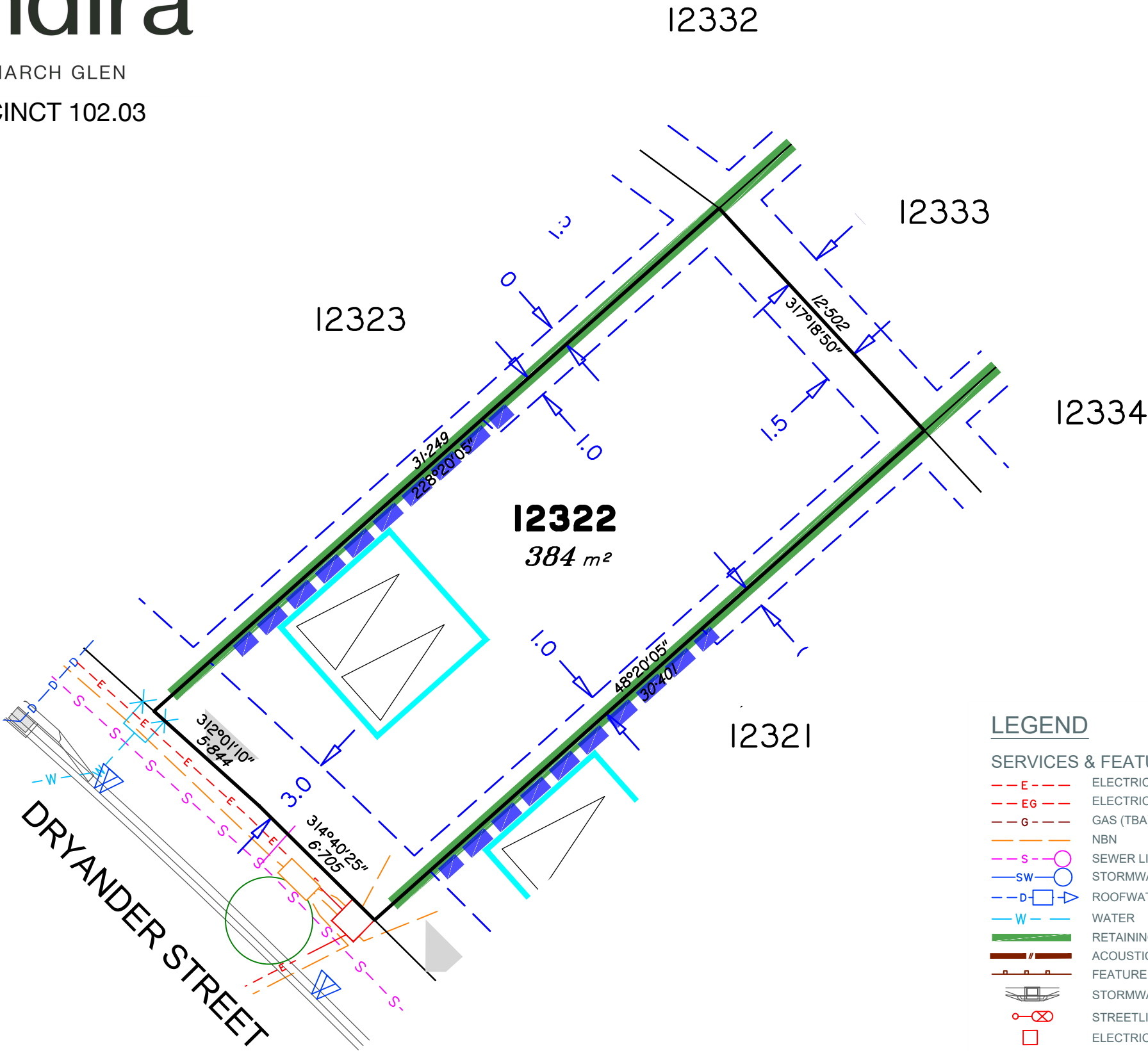
DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12321



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MONARCH GLEN

PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

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PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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PLAN OF PROPOSED LOT 12322 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

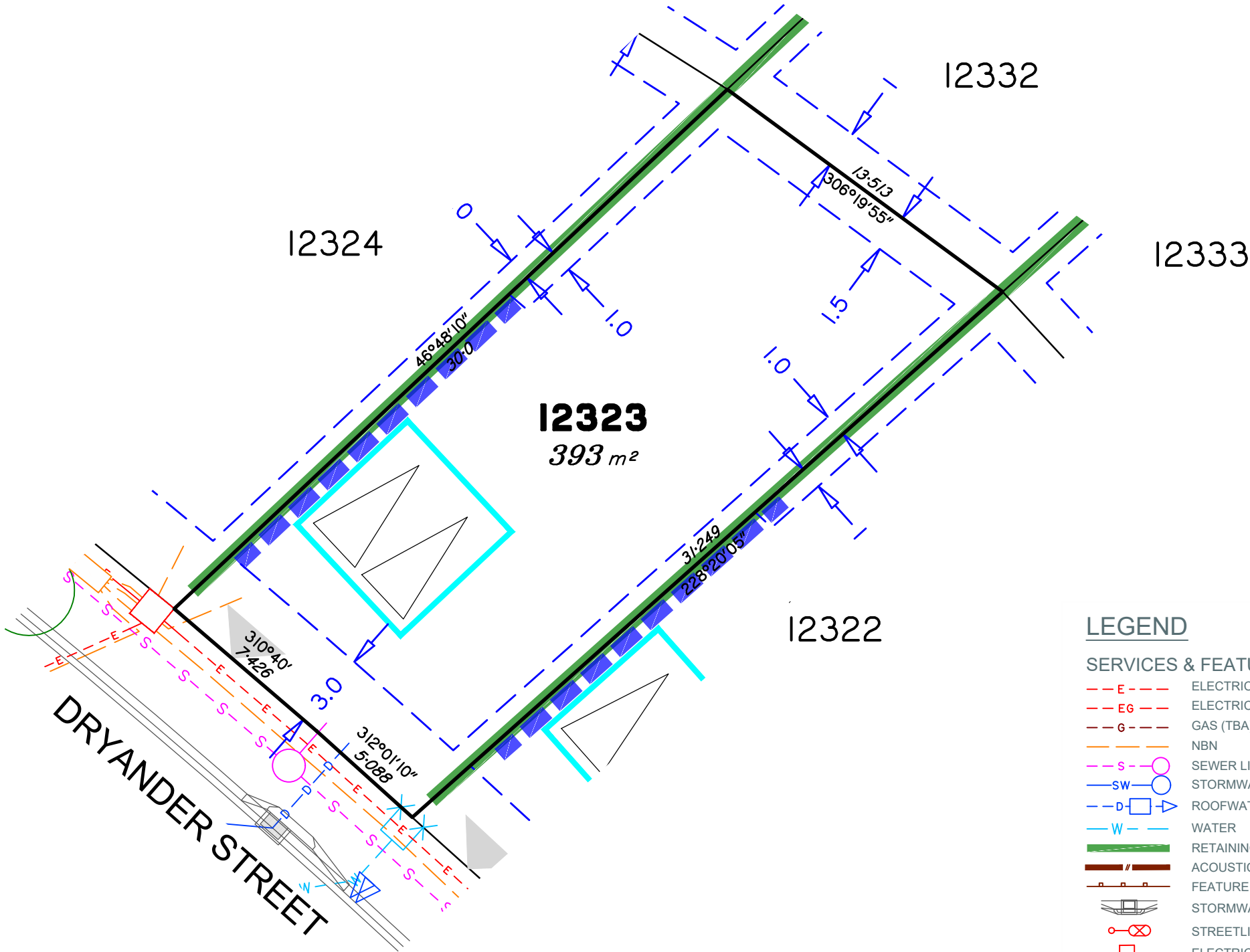
DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12322



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MONARCH GLEN

PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

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- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE
CHECKED TG			

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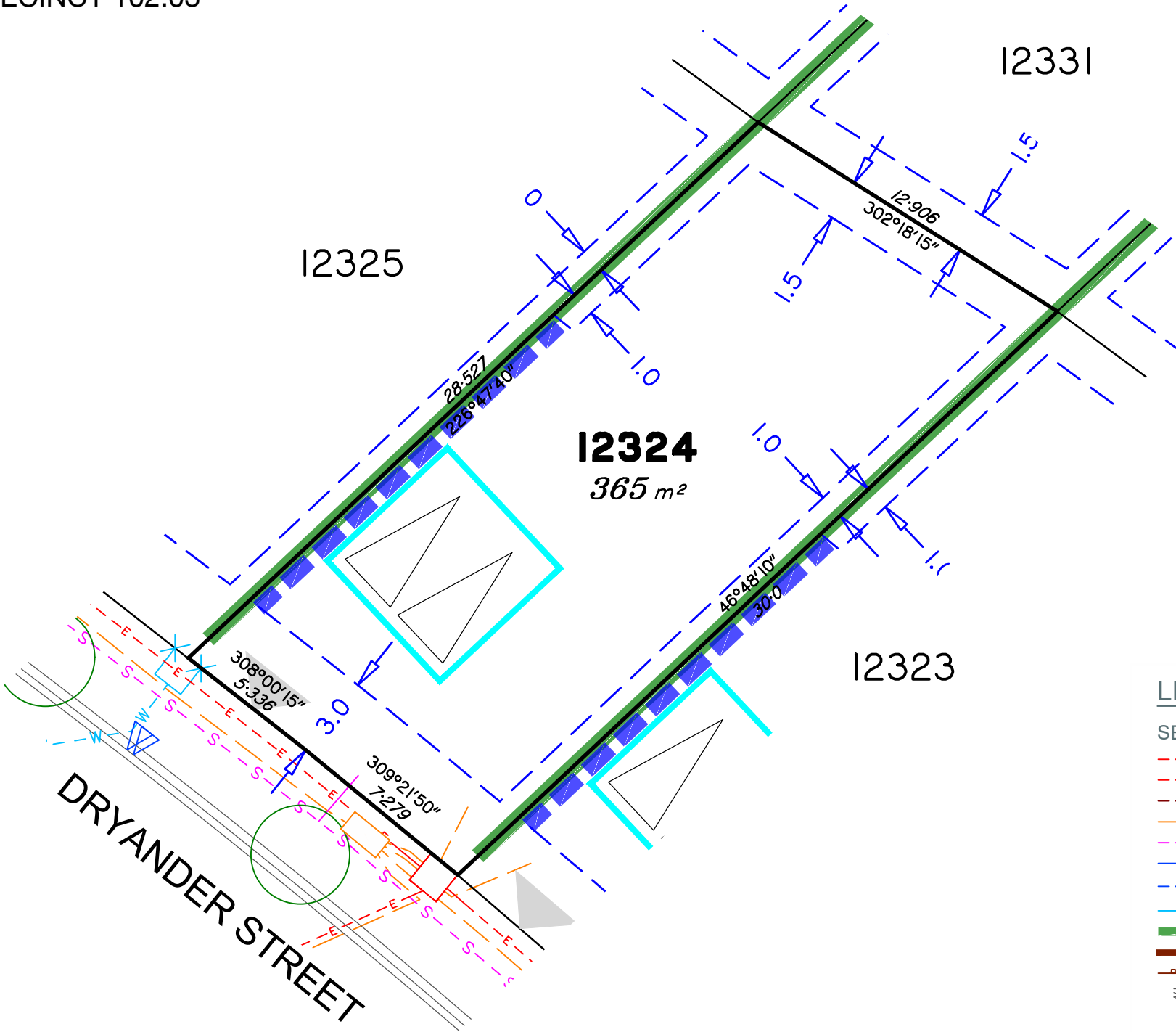
SCALE
1:200
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PLAN OF PROPOSED LOT 12323 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12323



- NOTES
- 1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
 - 2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
 - 3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
 - 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL



LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
- S --- SEWER LINE / MANHOLE
- SW --- STORMWATER LINE / MANHOLE
- D --- ROOFWATER LINE / PIT / KERB ADAPTOR
- W --- WATER
- RETAINING WALL --- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) --- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT --- STORMWATER GULLY PIT
- STREETLIGHT --- STREETLIGHT
- ELECTRICAL PILLAR --- ELECTRICAL PILLAR
- NBN PIT --- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
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SCALE
1:200
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PLAN OF PROPOSED LOT 12324 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

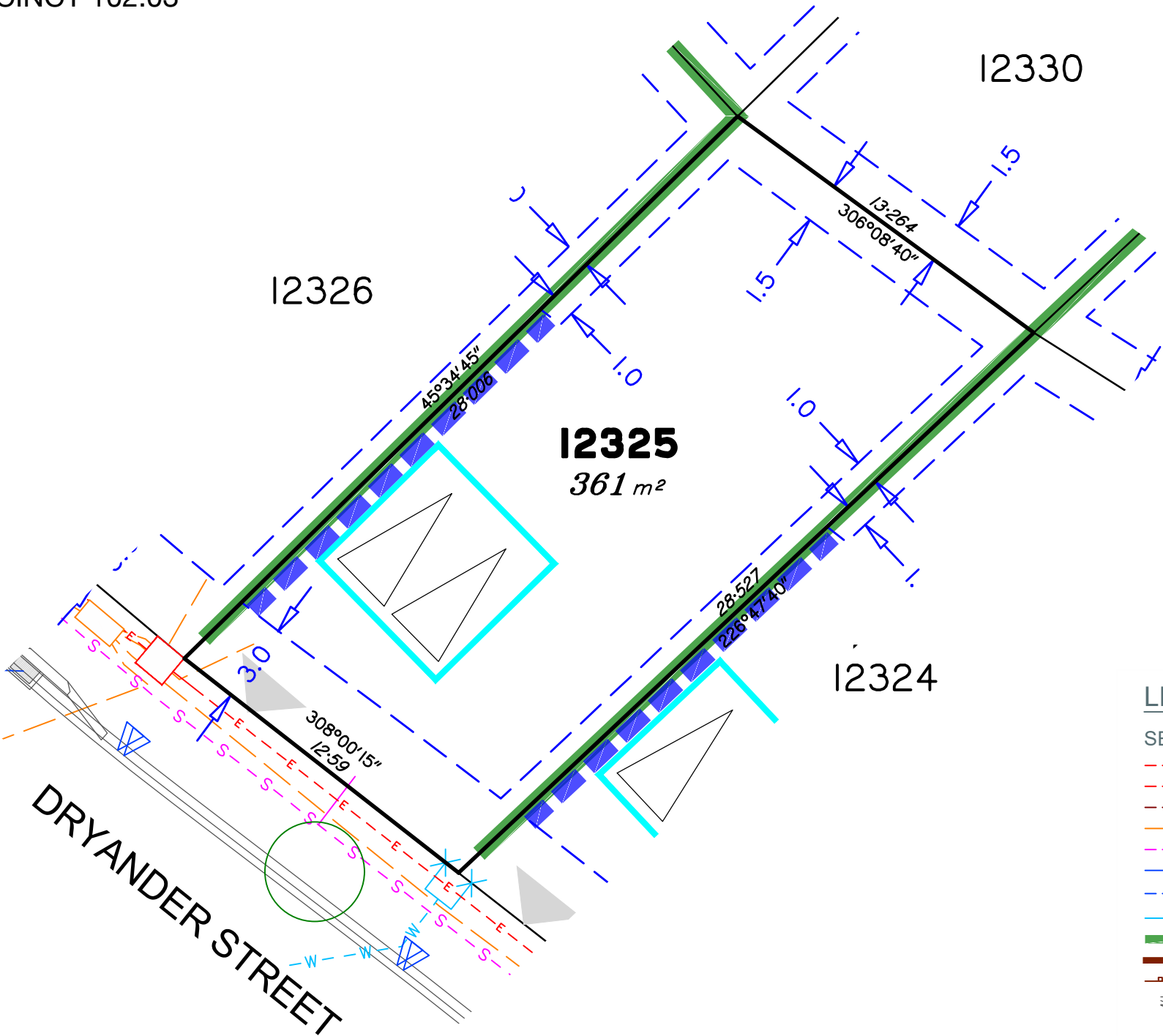
DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12324



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MONARCH GLEN

PRECINCT 102.03



- NOTES
1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
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- W--- WATER
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- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 12325 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

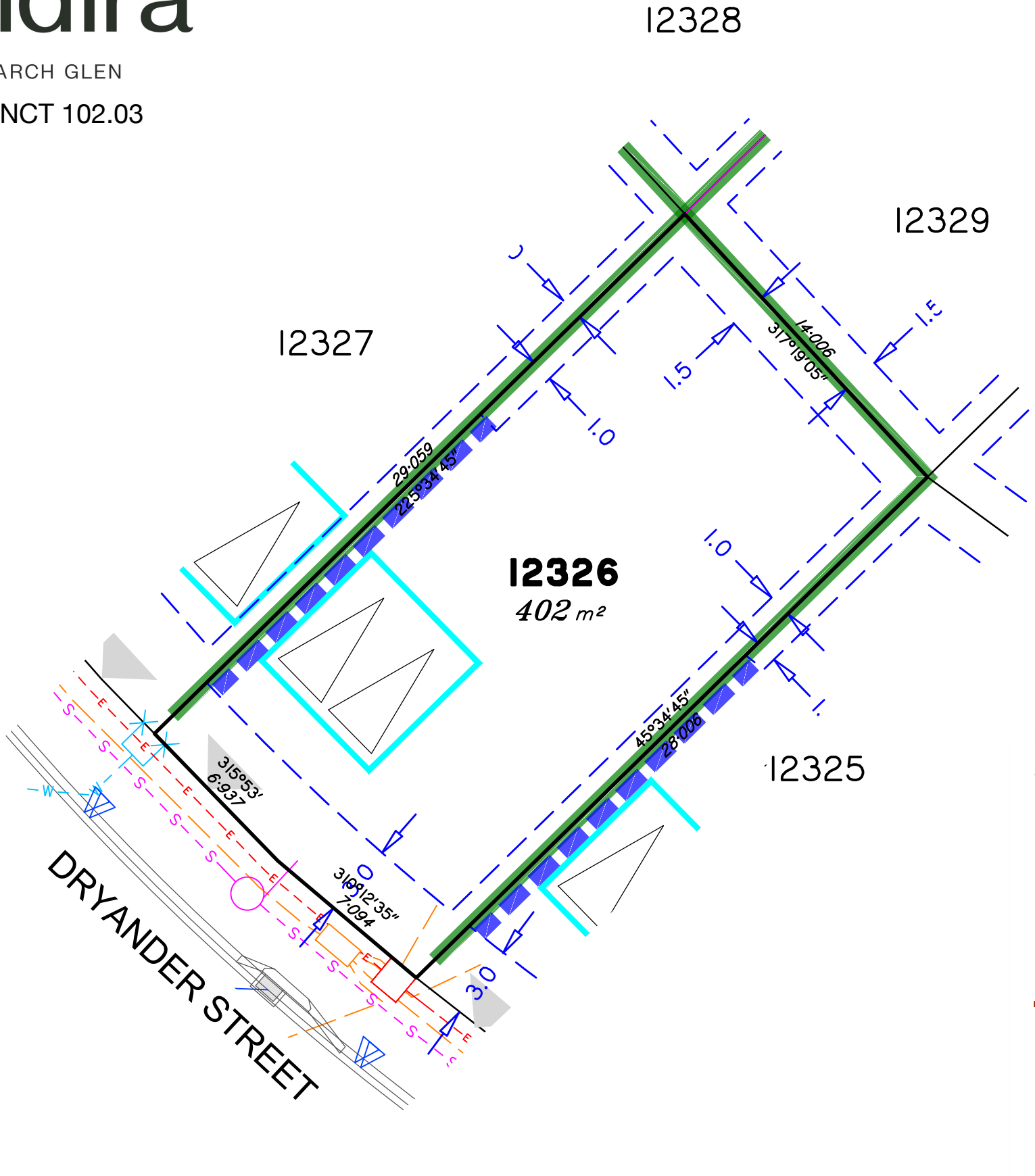
DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12325



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MONARCH GLEN

PRECINCT 102.03



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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
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- STREETLIGHT --- STREETLIGHT
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- NBN PIT --- NBN PIT
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- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
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- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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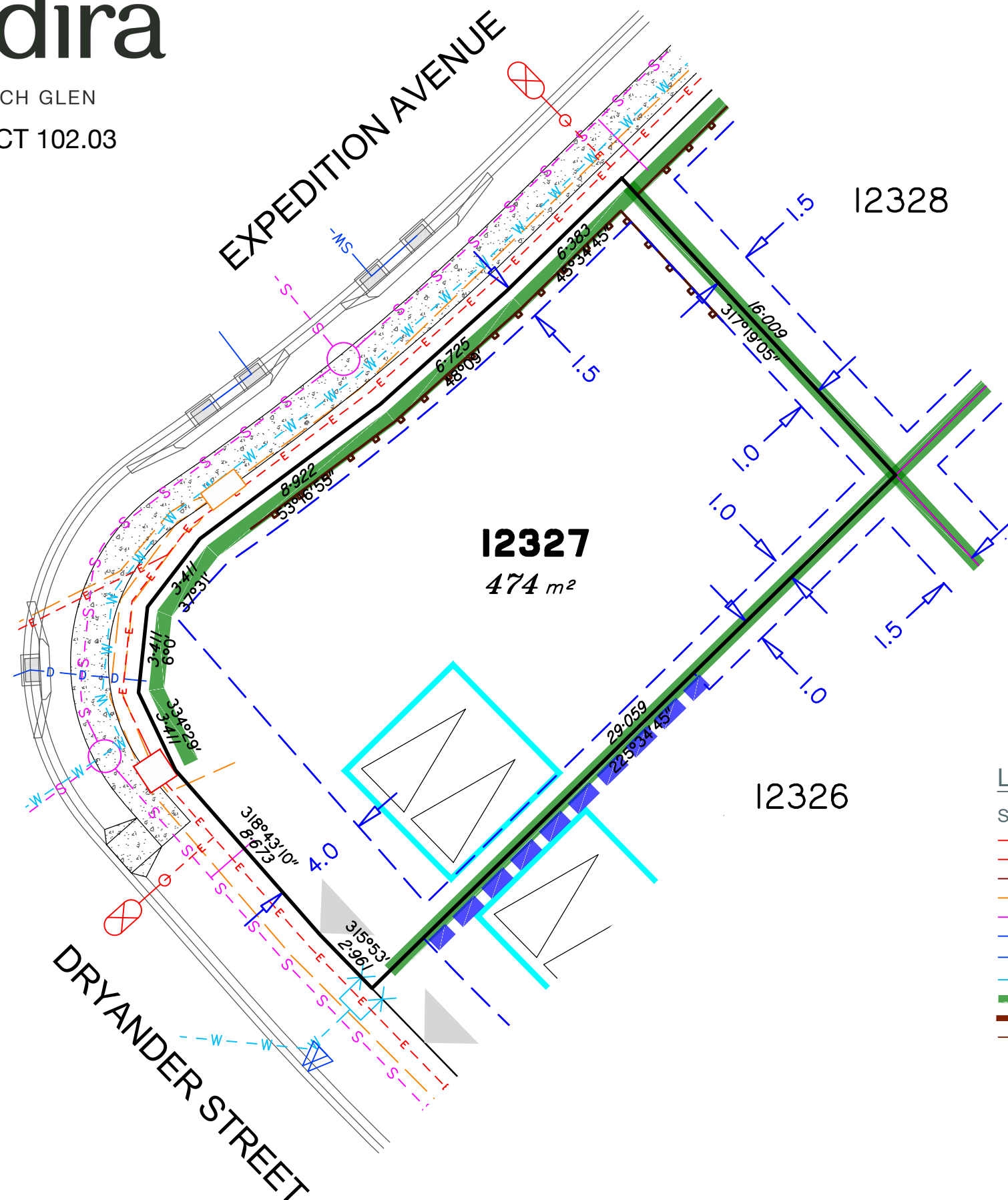
PLAN OF PROPOSED LOT 12326 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12326



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MONARCH GLEN
PRECINCT 102.03



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LEGEND

- SERVICES & FEATURES
- E --- ELECTRICAL
 - EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
 - G --- GAS (TBA)
 - NBN --- NBN
 - S --- SEWER LINE / MANHOLE
 - SW --- STORMWATER LINE / MANHOLE
 - D --- ROOFWATER LINE / PIT / KERB ADAPTOR
 - W --- WATER
 - RETAINING WALL --- RETAINING WALL
 - ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) --- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
 - FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
 - STORMWATER GULLY PIT --- STORMWATER GULLY PIT
 - STREETLIGHT --- STREETLIGHT
 - ELECTRICAL PILLAR --- ELECTRICAL PILLAR
 - NBN PIT --- NBN PIT
 - WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
 - STREET TREE --- STREET TREE

- PLAN OF DEVELOPMENT
- BUILDING ENVELOPE (GROUND FLOOR)
 - OPTIONAL BUILT TO BOUNDARY WALL
 - INDICATIVE DRIVEWAY CROSSOVER
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
 - INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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	TG		

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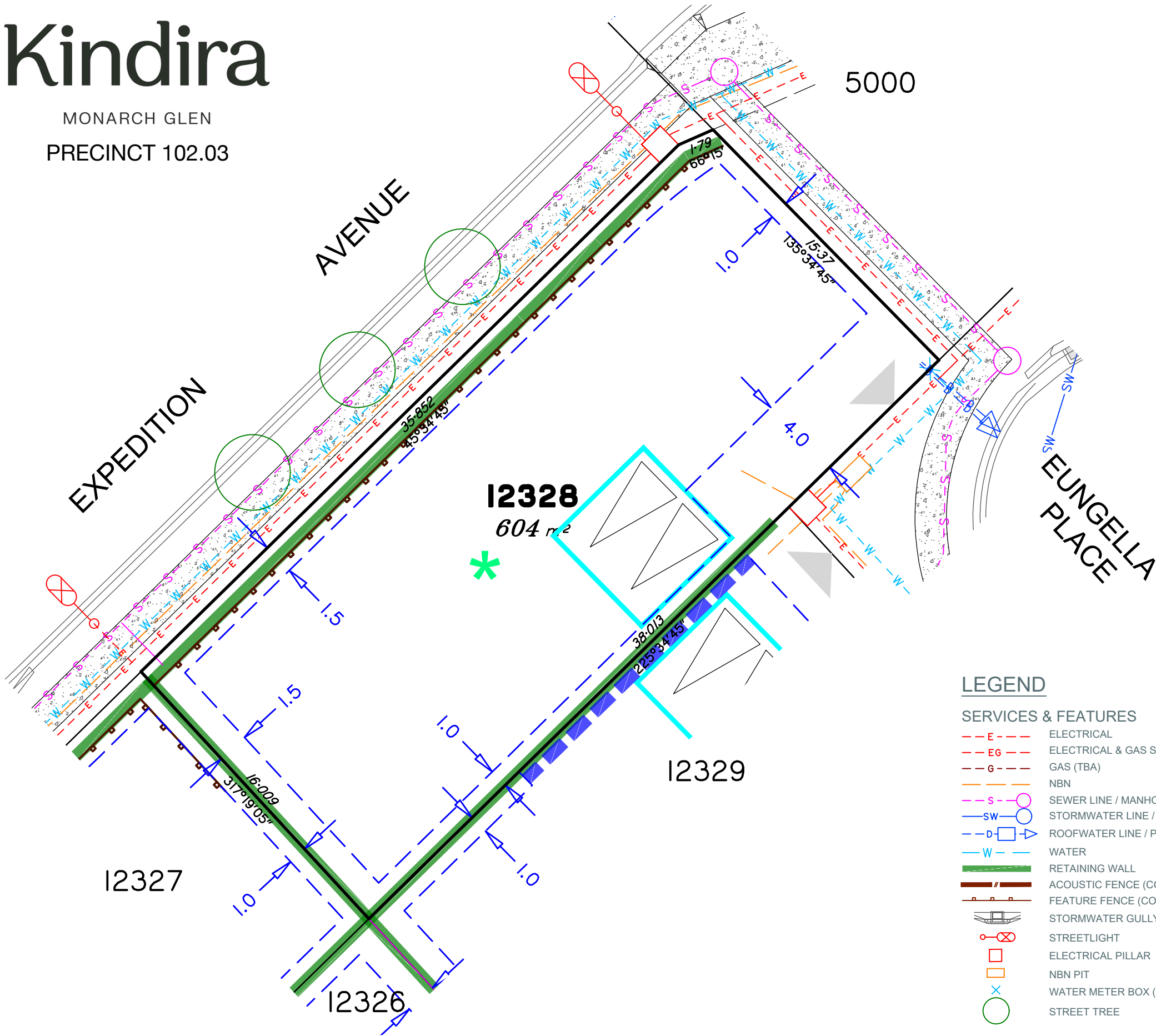
PLAN OF	
PROPOSED LOT 12327 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12327



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

- SERVICES & FEATURES
- E--- ELECTRICAL
 - EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
 - G--- GAS (TBA)
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 - NBN PIT--- NBN PIT
 - WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
 - STREET TREE--- STREET TREE

- PLAN OF DEVELOPMENT
- BUILDING ENVELOPE (GROUND FLOOR)
 - OPTIONAL BUILT TO BOUNDARY WALL
 - INDICATIVE DRIVEWAY CROSSOVER
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
 - BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
 - INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)

ISSUES			
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mirvac

SCALE 1:200

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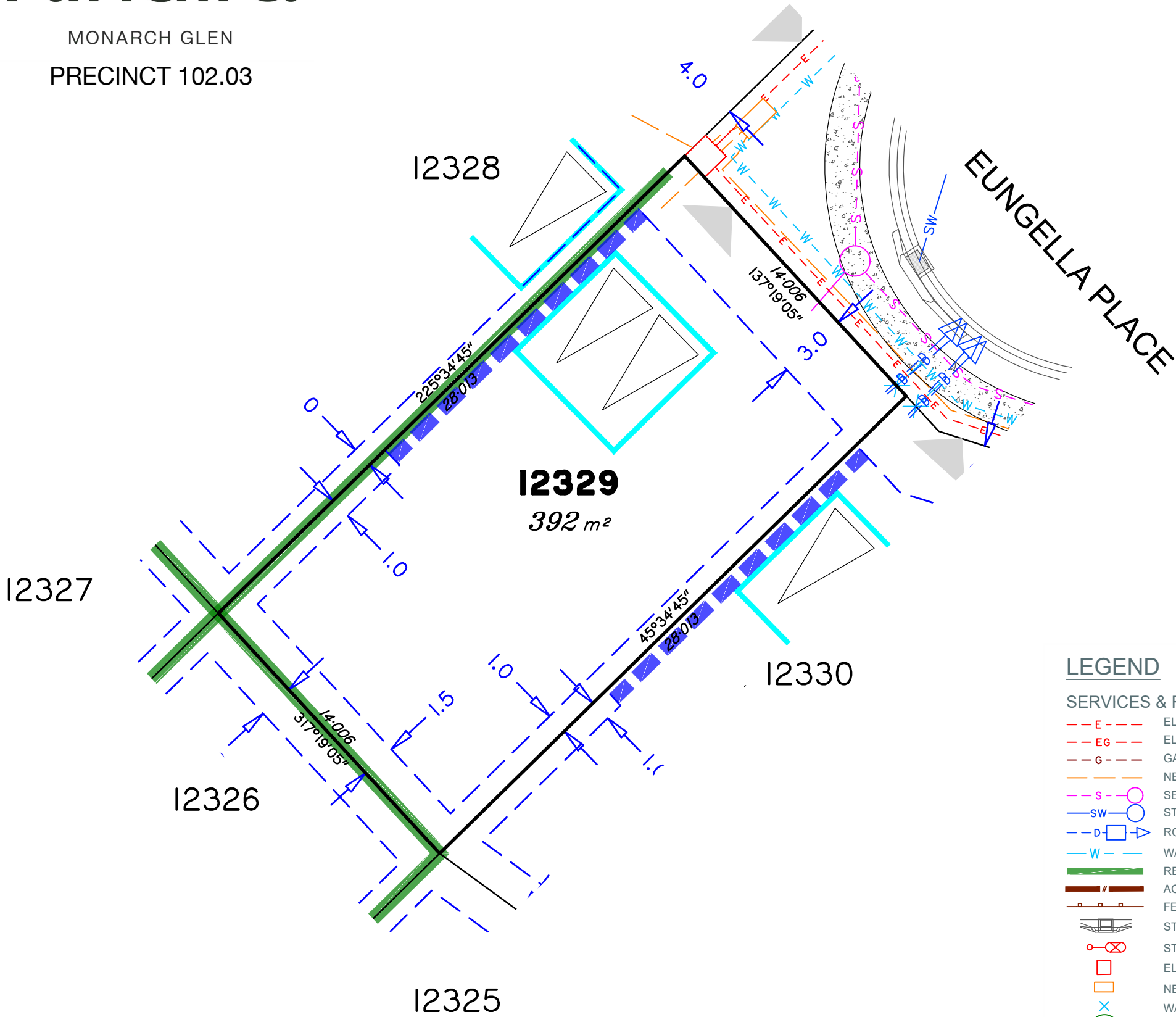
PLAN OF PROPOSED LOT 12328 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12328



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
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PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
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SCALE
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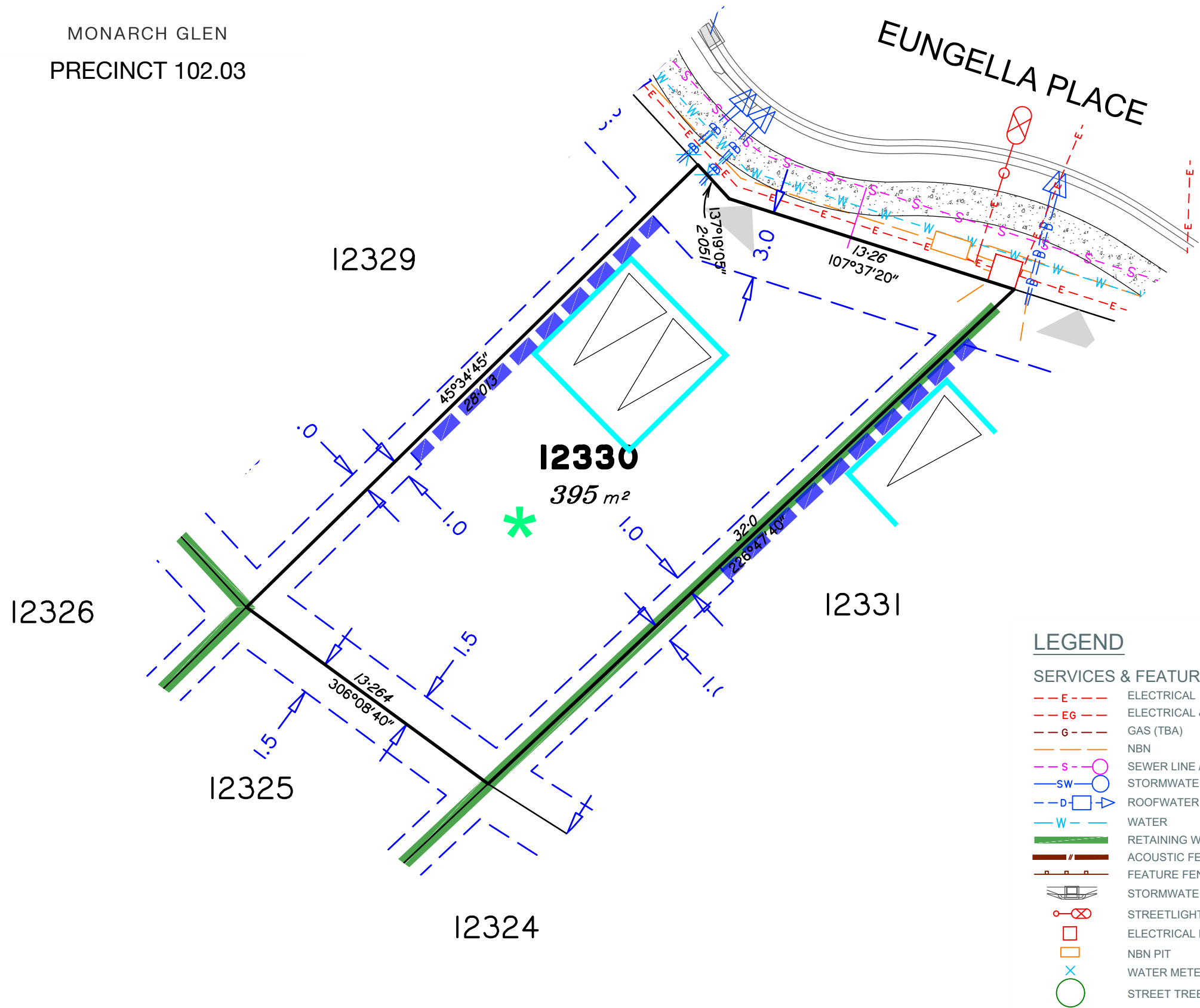
PLAN OF PROPOSED LOT 12329 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12329



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
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PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
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NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE

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mirvac

SCALE 1:200

0 1 2 5m

PLAN OF PROPOSED LOT 12330 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

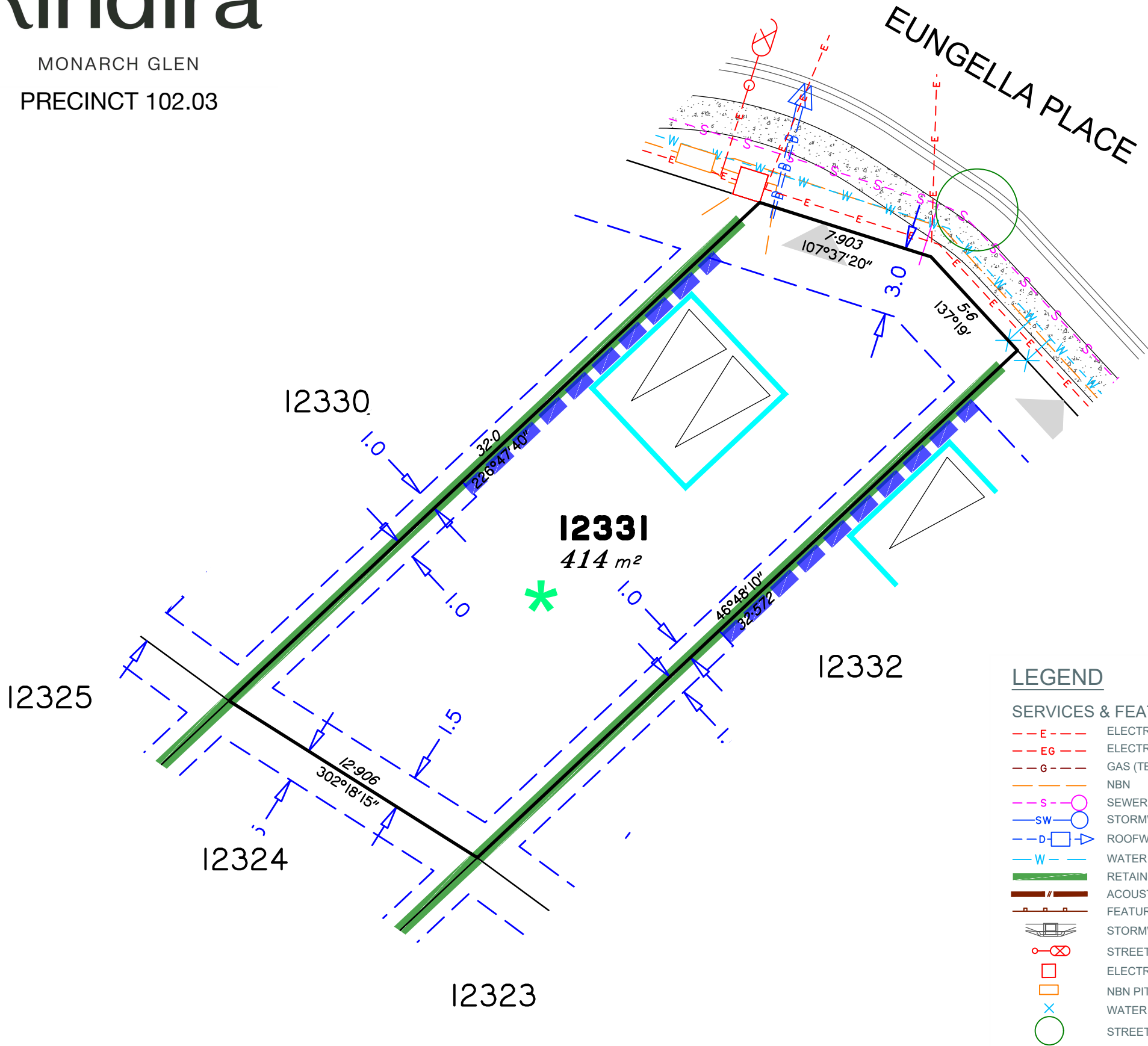
DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12330



Kindira

MONARCH GLEN
PRECINCT 102.03

- NOTES
1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
 2. SERVICES SHOWN HEREON HAVE BEEN PLOTTED FROM THE LATEST DESIGN INFORMATION AVAILABLE AT THE TIME OF PUBLICATION. THE RELEVANT AUTHORITIES AND/OR SERVICE PROVIDER SHOULD BE CONTACTED FOR "AS CONSTRUCTED" OR DBYD INFORMATION PRIOR TO ANY DESIGN AND/OR CONSTRUCTION OF ANY STRUCTURE.
 3. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN. THIS PLAN MAY NOT BE REPRODUCED UNLESS THESE NOTES ARE INCLUDED. IF OTHERS USE THIS INFORMATION, THEY SHOULD BE ADVISED OF ITS PURPOSE AND LIMITATIONS.
 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL



LEGEND

SERVICES & FEATURES

- E --- ELECTRICAL
- EG --- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G --- GAS (TBA)
- NBN --- NBN
- S --- SEWER LINE / MANHOLE
- SW --- STORMWATER LINE / MANHOLE
- D --- ROOFWATER LINE / PIT / KERB ADAPTOR
- W --- WATER
- RETAINING WALL --- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC) --- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC) --- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT --- STORMWATER GULLY PIT
- STREETLIGHT --- STREETLIGHT
- ELECTRICAL PILLAR --- ELECTRICAL PILLAR
- NBN PIT --- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER) --- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE --- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	TG	06.02.2026	ORIGINAL ISSUE

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mirvac

SCALE 1:200

0 1 2 5m

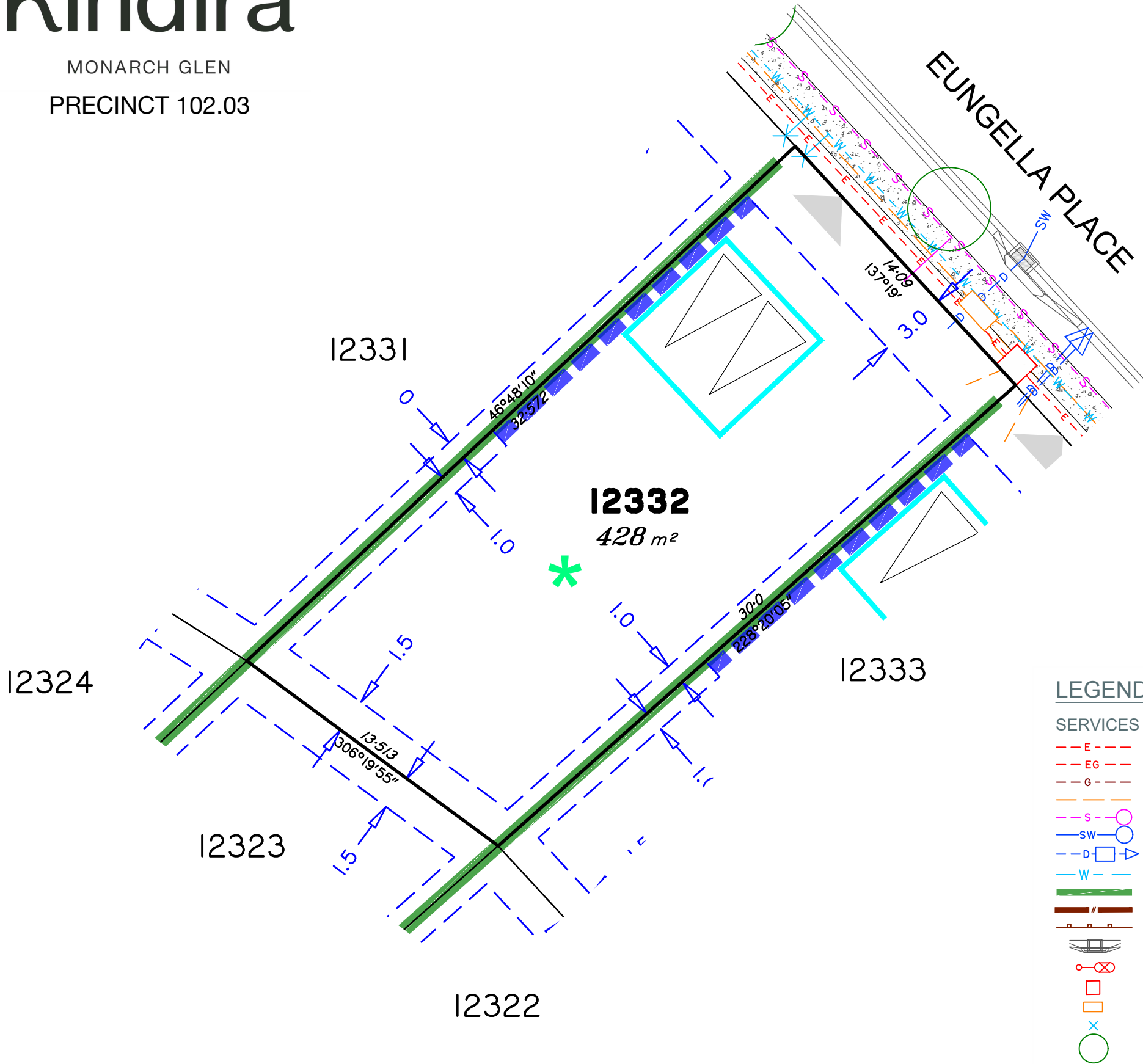
PLAN OF PROPOSED LOT 12331 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE	
SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12331



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MONARCH GLEN
PRECINCT 102.03



- NOTES
- 1. THE LOT BOUNDARIES & AREA SHOWN HEREON WERE NOT MARKED AT THE TIME OF PUBLICATION AND HAVE BEEN DETERMINED FROM CALCULATED DIMENSIONS SUPPLIED BY SAUNDERS HAVILL.
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 - 4. SERVICES & ELECTRICAL DESIGN INFORMATION SUPPLIED BY COLLIERS CIVIL ENGINEERS & PETER EUSTACE CONSULTING ENGINEERS. PLAN OF DEVELOPMENT INFORMATION SUPPLIED BY SAUNDERS HAVILL

LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



ISSUES				CHECKED TG
NO.	DRAWN	DATE	DESCRIPTION	
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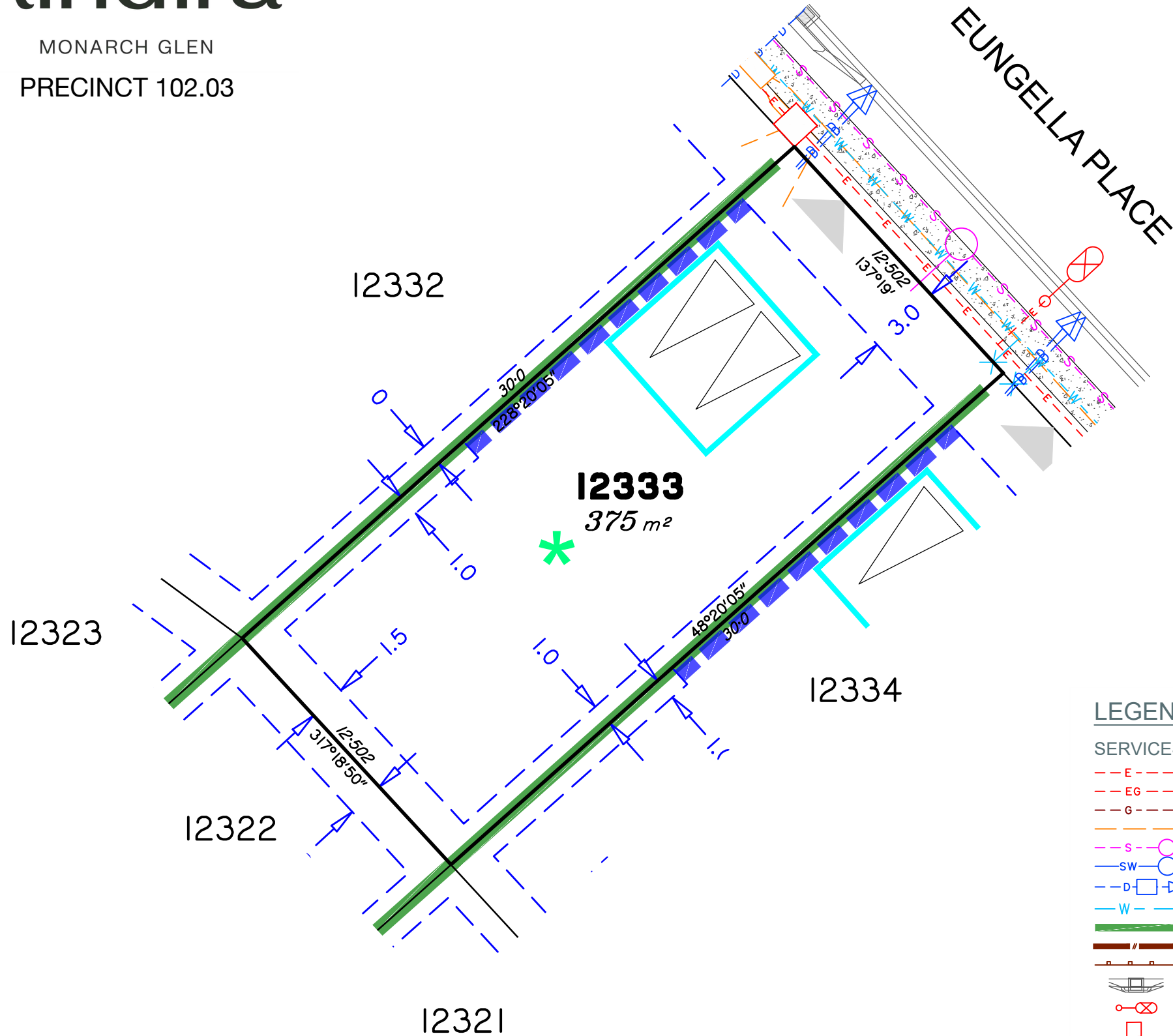
PLAN OF PROPOSED LOT 12332 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE
SERVICES AND OTHER FEATURES PLAN
DRAWING NO.
11731 S 09 AD A_12332



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
- S--- SEWER LINE / MANHOLE
- SW--- STORMWATER LINE / MANHOLE
- D--- ROOFWATER LINE / PIT / KERB ADAPTOR
- W--- WATER
- RETAINING WALL--- RETAINING WALL
- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)--- ACOUSTIC FENCE (CONSTRUCTED BY MIRVAC)
- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
- STORMWATER GULLY PIT--- STORMWATER GULLY PIT
- STREETLIGHT--- STREETLIGHT
- ELECTRICAL PILLAR--- ELECTRICAL PILLAR
- NBN PIT--- NBN PIT
- WATER METER BOX (METER BY OWNER/BUILDER)--- WATER METER BOX (METER BY OWNER/BUILDER)
- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
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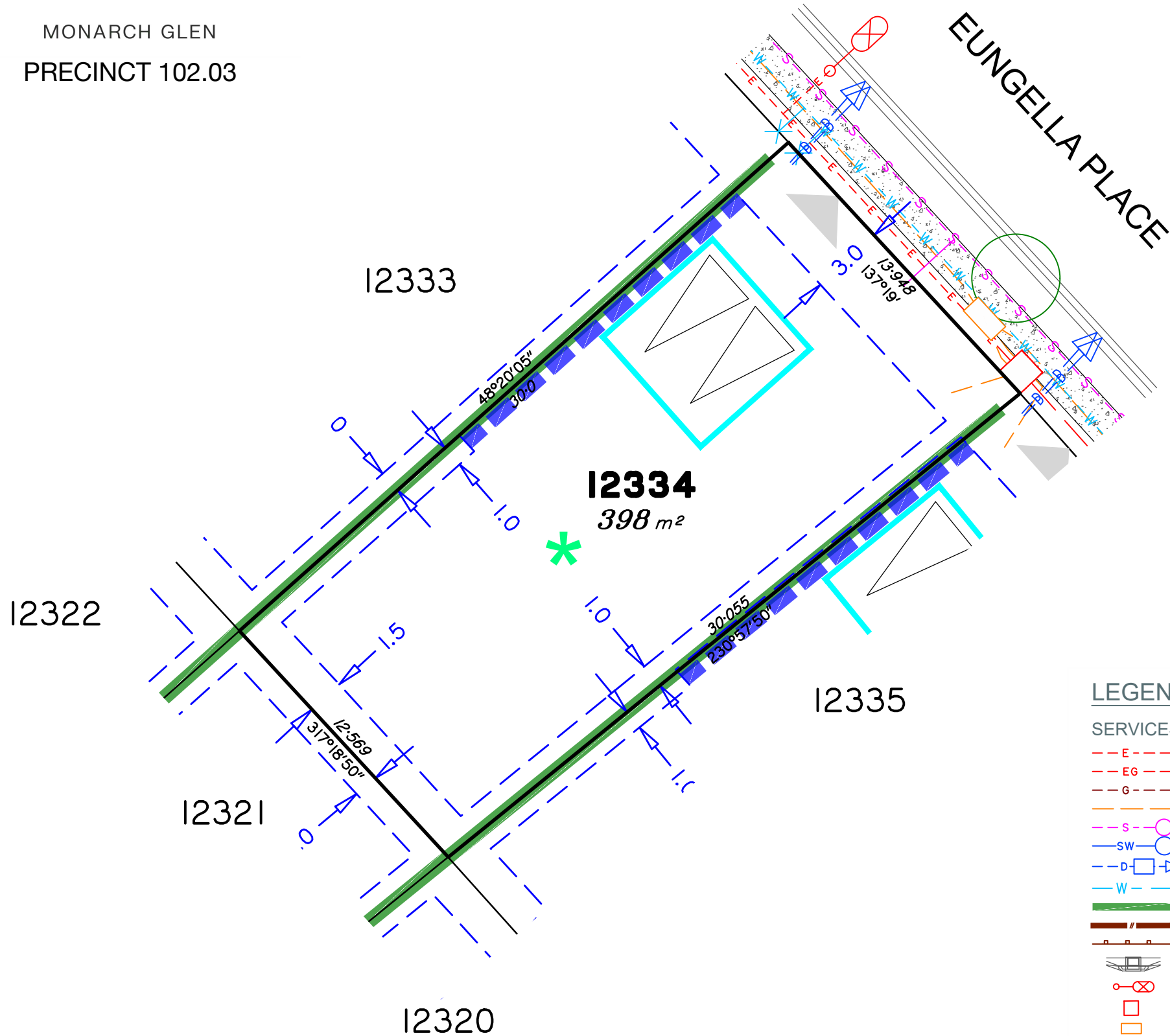
PLAN OF PROPOSED LOT 12333 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12333



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
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- STREETLIGHT--- STREETLIGHT
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- NBN PIT--- NBN PIT
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- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

- BUILDING ENVELOPE (GROUND FLOOR)
- OPTIONAL BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY CROSSOVER
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO UPPER FLOORS ONLY
- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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NO.	DRAWN	DATE	DESCRIPTION
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SCALE
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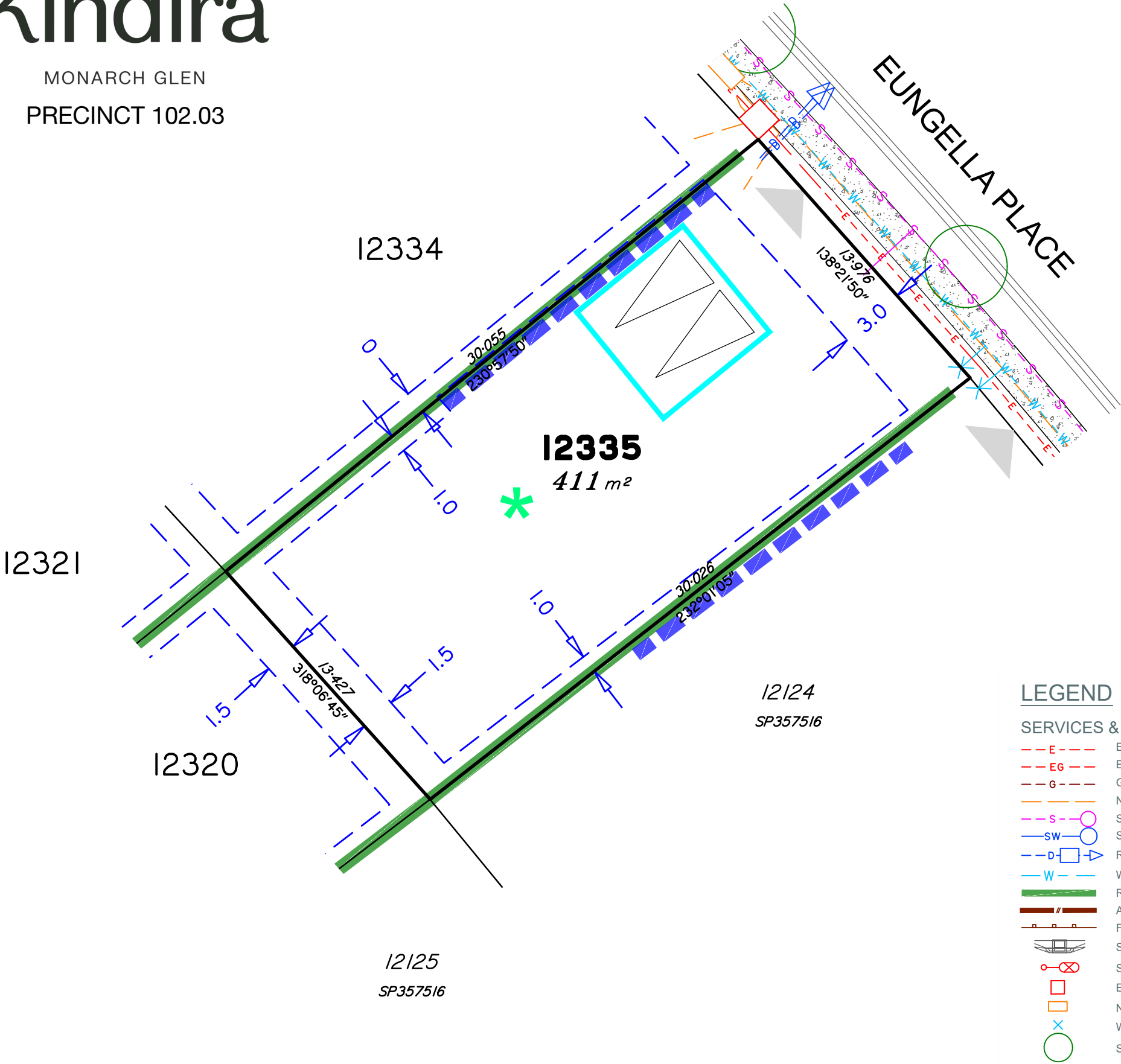
PLAN OF PROPOSED LOT 12334 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN	
DRAWING NO.	11731 S 09 AD A_12334



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MONARCH GLEN
PRECINCT 102.03



- NOTES
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LEGEND

SERVICES & FEATURES

- E--- ELECTRICAL
- EG--- ELECTRICAL & GAS SHARED TRENCH (TBA)
- G--- GAS (TBA)
- NBN--- NBN
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- FEATURE FENCE (CONSTRUCTED BY MIRVAC)--- FEATURE FENCE (CONSTRUCTED BY MIRVAC)
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- STREETLIGHT--- STREETLIGHT
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- STREET TREE--- STREET TREE

PLAN OF DEVELOPMENT

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- BUILDINGS WHICH REQUIRE ACOUSTIC DESIGN TO GROUND AND UPPER FLOORS
- INDICATIVE GARAGE LOCATION (SETBACK 5m FROM BOUNDARY)



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SCALE
1:200
0 1 2 5m

PLAN OF PROPOSED LOT 12335 ON SP357519	
DESCRIBED AS:	PART OF LOT 1 ON SP351245
EXISTING TITLE REFERENCE:	51370117
LOCALITY:	MONARCH GLEN
LOCAL GOVERNMENT:	LOGAN CITY COUNCIL

DRAWING TITLE SERVICES AND OTHER FEATURES PLAN
DRAWING NO. 11731 S 09 AD A_12335

